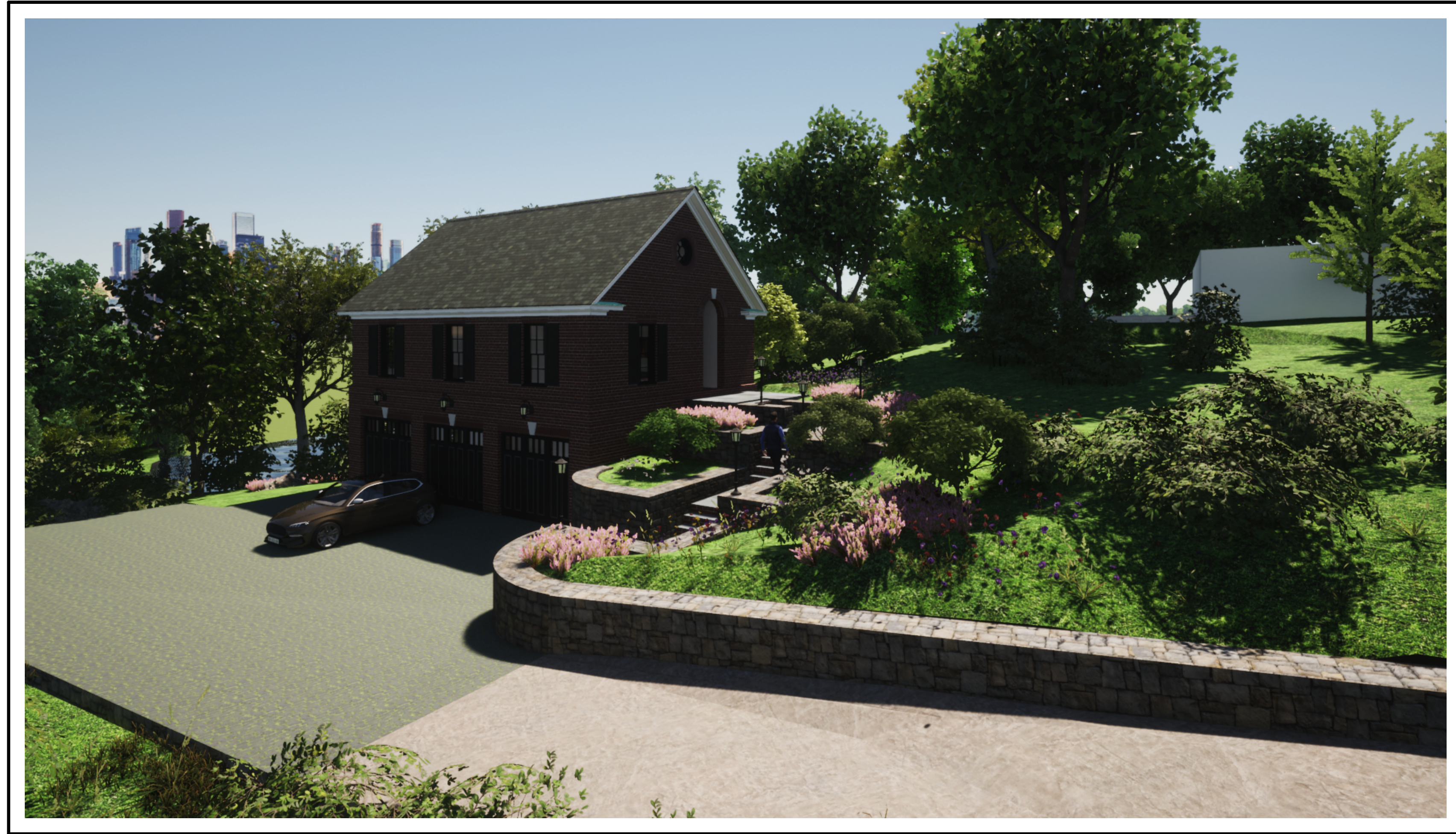




**AERIAL SITE MAP**



# CARRIAGE HOUSE AND STUDIO BREEDER RESIDENCE

57 GOLF LANE, RIDGEFIELD, CT 06877



**E1** EXISTING CARRIAGE HOUSE  
SCALE: 1:2.49

ZONING/BULK CONFORMANCE CHART - 57 GOLF LANE, RIDGEFIELD, CT 06877					
ASSESSORS TAX MAP # 2156 & 3733 PROPERTY SIZE - 1.244 AC/ 54,178 SF					
ZONING DISTRICT: RAA SINGLE FAMILY ZONE					
CODE SECTION	DESCRIPTION	MINIMUM REQUIREMENTS	EXISTING	PROPOSED	VARIANCE REQUESTED
3.5.H	SETBACKS	FRONT 35 FT	N/A		N/A
		REAR 35 FT	26.3'	35.0'	N/A
		SIDES 35 FT	25.6'	35.0'	N/A
3.5.I	BUILDING HEIGHT	35/45	35'	30'	N/A
3.5.F	COVERAGE	3,971 SF	4,343 SF	4,357 SF	YES
3.5.G	FLOOR AREA RATIO	6,487 SF	5,712 SF	5,698 SF	N/A
	IMPERVIOUS SURFACE	5,217 SF	13,388 SF		N/A
	BUILDING AREA		EXISTING	PROPOSED	
	BASEMENT		973 SF	985 SF	
	FIRST FLOOR		973 SF	947 SF	
	TOTAL AREA		1,946 SF	1,932 SF	

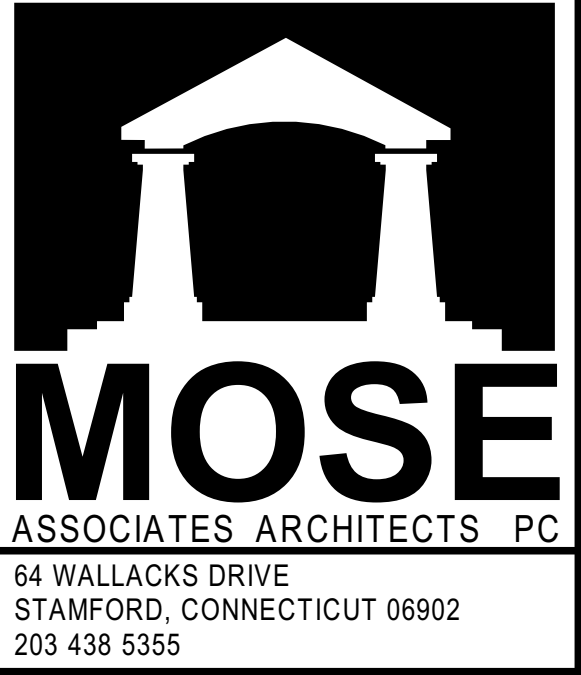
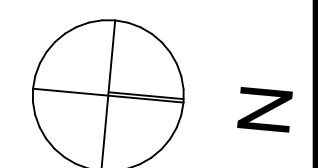
**GENERAL NOTES:**

- THE INTENT OF THE DOCUMENTS IS TO SHOW NEW CONSTRUCTION ONLY. PROVIDE ALL REQUIRED DEMOLITION AND REMOVE ONLY THOSE EXISTING ITEMS REQUIRED TO ACCOMPLISH THE NEW CONSTRUCTION AS SHOWN. RETAIN OR RELOCATE THOSE ITEMS NOT SHOWN TO BE REMOVED OR WHERE CALLED TO BE RELOCATED.
- EXISTING DRAWINGS ARE TO AID IN THE UNDERSTANDING OF THE NEW WORK AND SHALL NOT BE DEEMED TO SHOW ALL EXISTING CONDITIONS AND SHALL NOT SUBSTITUTE FOR FIELD VISITS.
- VERIFY ALL FIELD CONDITIONS PRIOR TO EXECUTION OF THE WORK AND NOTIFY THE ARCHITECT OF DISCREPANCIES OR UNSATISFACTORY WORK.
- PROVIDE ALL TEMPORARY BRACING, SHORING, FORMS, ETC. PROVIDE ALL REQUIRED TEMPORARY ENCLOSURES TO PROTECT THE NEW AND EXISTING CONSTRUCTION MATERIALS AND EQUIPMENT FROM THE WEATHER AND TO PROTECT THE UNALTERED AREA FROM THE DUST AND DEBRIS OF CONSTRUCTION.
- THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY DAMAGE OCCURRING FROM THE NEW WORK DUE TO EXPOSURE TO WEATHER OR HIS MANNER OR METHODS OF CONSTRUCTION.
- FOR ALL GUARANTEES AND WARRANTIES, SEE THE SPECIFICATIONS.
- PROVIDE ALL REQUIRED CUTTING, FITTING, AND PATCHING FOR THE MECHANICAL AND ELECTRICAL TRADES.
- PROVIDE ALL REQUIRED MISCELLANEOUS ROUGH AND FINISH CARPENTRY, HEADERS, LINTELS, BLOCKING, FURRING, TRIMMING, ETC.
- PROVIDE ALL REQUIRED PLUMBING, VENTILATION, AND ELECTRICAL CONNECTIONS FOR ALL APPLIANCES AND EQUIPMENT.
- ALL WORK SHALL CONFORM TO LOCAL, STATE, AND NATIONAL CODES.

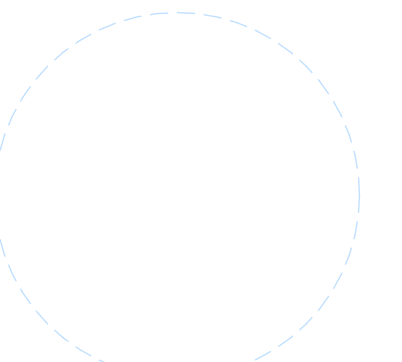
**SHEET INDEX ZBA SUBMISSION**

- A-001 TITLE SHEET
- A-002 RENDERINGS
- SITE-1 PROPOSED SURVEY
- SITE-2 PROPOSED SITE PLAN
- A-100 GARAGE PLAN
- A-101 STUDIO FLOOR PLAN
- A-200 ELEVATIONS

**NOT FOR  
CONSTRUCTION**



CERTIFICATION & SEAL



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PROJECT  
CARRIAGE HOUSE AND STUDIO  
BREEDER RESIDENCE  
57 GOLF LANE, RIDGEFIELD, CT 06877

DATE / REVISIONS

10-22-21 ZBA SUBMISSION SET

DRAWING TITLE

TITLE SHEET

DATE: 10/22/21

BY:

JOB NO: 2111

DWG. NO:

**T-1**





B1 PROPOSED ENTRY APPROACH VIEW  
SCALE: 1:2.50



B4 PROPOSED ENTRY VIEW  
SCALE: 1:2.50



D1 PROPOSED TERRACE AND WALKWAY  
SCALE: 1:2.50



D4 PROPOSED WESTERN VIEW  
SCALE: 1:2.50

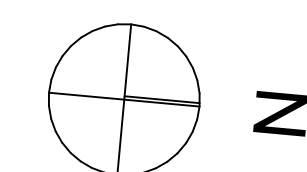


F1 PROPOSED SOUTH GARAGE VIEW  
SCALE: 1:2.50



F4 PROPOSED PATIO VIEW  
SCALE: 1:2.50

NOT FOR  
CONSTRUCTION



**MOSE**  
ASSOCIATES ARCHITECTS PC  
64 WALLACKS DRIVE  
STAMFORD, CONNECTICUT 06902  
203 438 5355

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PROJECT

CARRIAGE HOUSE AND STUDIO  
BREIDE RESIDENCE  
57 GOLF LANE, RIDGEFIELD, CT 06877

DATE / REVISIONS	
10-22-21	ZBA SUBMISSION SET

DRAWING TITLE

RENDERINGS

DATE: 10/22/21  
BY:  
JOB NO: 2111  
DWG. NO:

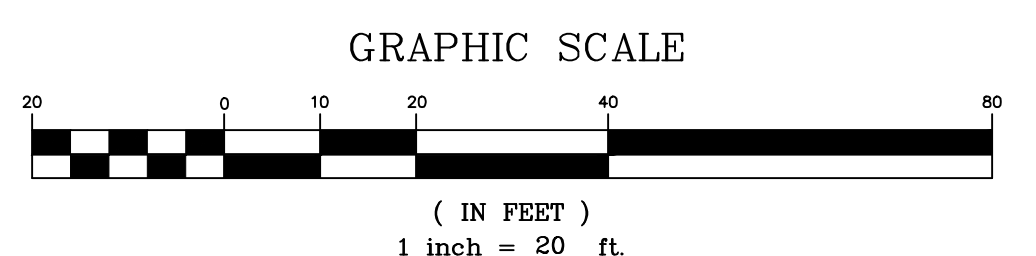
**A-002**



LEGEND	
○	PROPERTY LINE CORNER
●	BOLLARD
⊕	SIGN
⊙	LIGHT POLE
⊙	TRAFFIC POLE
⊙	UTILITY POLE WITH LIGHT
⊙	UTILITY POLE
⊙	GUY WIRE
⊙	GUY POLE
⊙	HANDICAPPED PARKING SPACE
⊙	CATCH BASINS
⊙	GAS VALVE
⊙	CATCH BASIN CURB INLET
⊙	ELECTRIC MANHOLE
⊙	DRAINAGE MANHOLE
⊙	SEWER MANHOLE
⊙	WATER VALVE
⊙	HYDRANT
⊙	BENCHMARK SET OR FOUND
⊙	STONE MASONRY WALL
⊙	STONE WALL
⊙	BLOCK WALL
⊙	CONCRETE WALL
⊙	OVERHEAD UTILITIES
⊙	PICKET FENCE
⊙	WIRE FENCE
⊙	STOCKADE FENCE
⊙	POST AND BOARD FENCE
⊙	CHAIN LINK FENCE
⊙	METAL FENCE OR RAILING
⊙	GUIDE RAIL
⊙	UNDERGROUND ELECTRIC LINE
⊙	UNDERGROUND WATER LINE
⊙	UNDERGROUND SEWER LINE
⊙	UNDERGROUND DRAINAGE PIPE
⊙	BUILDING
⊙	ASPHALT SURFACE
⊙	CONCRETE SURFACE
⊙	GRAVEL SURFACE
⊙	GRASS SURFACE
⊙	STONE SURFACE
⊙	SLATE SURFACE
⊙	WATER
⊙	BRICK SURFACE
⊙	LEDGE
⊙	RIP-RAP
⊙	SWAMP
D.M.H.	DRAINAGE MANHOLE
C.B.M.H.	CATCH BASIN MANHOLE
C.B.C.I.	CATCH BASIN CURB INLET
C.B.	CATCH BASIN
C.M.P.	CORRUGATED METAL PIPE
C.P.P.	CORRUGATED PLASTIC PIPE
R.C.P.	REINFORCED CONCRETE PIPE
C.I.P.	CAST IRON PIPE
INV.	INVERT
S.M.H.	SEWER MANHOLE
B.M.	BENCHMARK
HYD.	HYDRANT
F.F.	FIRST FLOOR
E.M.H.	ELECTRIC MANHOLE
W.L.F.	WETLAND FLAG
U.M.H.	UNKNOWN MANHOLE
M.WELL	MONITORING WELL
WV	WATER VALVE
GV	GAS VALVE
TYP.	TYPICAL
O.H.W.	OVERHEAD WIRES
N/F	NOW OR FORMERLY
F/K/A	FORMERLY KNOWN AS
TC	TOP CURB
BC	BOTTOM CURB
O.H.	OVERHEAD
R.O.W.	RIGHT-OF-WAY
H.W.	HEADWALL
P.L.	PROPERTY LINE
C.L.	CENTER LINE

TREE ABBREVIATION TABLE	
TW	TWIN
TR	TRIPLE
Q	QUAD
CL	CLUMP
HI	HICKORY
CA	CATALPA
DW	DOGWOOD
MG	MAGNOLIA
MA	MAPLE
SP	SPRUCE

PROPOSED SHOWN IN RED  
T.B.R.: TO BE REMOVED



**SURVEY NOTES:**  
 1. PARCEL ID: D17-0061  
 2. ADDRESS: 57 GOLF LANE  
 3. AREA = 1.244 AC., 54,179 S.F.  
 4. VERTICAL DATUM: NAVD88  
 4.1. 1" CONTOURS SHOWN HEREON REPRESENT A BLEND OF GROUND TOPOGRAPHY AND AERIAL LIDAR FROM FROM CT FLIGHT FROM 2019

ZONING TABLE - RAA			
	AREA (S.F.)	LOT COVERAGE (S.F.)	IMPERVIOUS SURFACE
MAX. ALLOWABLE	87120	3971	5217
EXISTING	54178	4343*	13388
PROPOSED	54178	4357	14862

\*INCLUDES CARPORT

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", AS ADOPTED ON SEPTEMBER 26, 1996, AS FOLLOWS:

- THIS MAP WAS PREPARED AS A LIMITED BOUNDARY/TOPOGRAPHIC SURVEY.
- BOUNDARY DETERMINATION IS IN ACCORDANCE WITH THE STANDARDS FOR A DEPENDANT RESURVEY. (REFER TO T.C. MAP NO. 2156 ON FILE WITH THE RIDGEFIELD LAND RECORDS).
- THIS MAP MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR HORIZONTAL ACCURACY FOR CLASS A-2 SURVEYS.
- THIS MAP MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR VERTICAL ACCURACY FOR CLASS I-2 SURVEYS.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

**GEOLOGIC LAND SURVEYING, PLLC**  
 MOUNT KEBEQUICK, NEW FAIRFIELD, CT  
 P: 914-864-1800 F: 914-864-1119  
 WWW.GEOLANDSURVEYING.COM  
 GEOLANDSURVEYING.COM

EVAN J. FOGLE, P.L.S. CT. LICENSE NO. 70432

**SURVEYOR'S SEAL**

**TOPOGRAPHIC PROPERTY SURVEY**  
 PREPARED FOR  
**MICHAEL BREEDE & PATRICIA MINSKOFF**  
 BEING  
**T.C. MAP No. 2156 & 3733**  
 ALSO KNOWN AS  
**57 GOLF LANE**  
 SITUATE IN THE  
**TOWN OF RIDGEFIELD FAIRFIELD CO., CT.**  
**SCALE: 1" = 20'**  
**AUGUST 13, 2021**  
 COPYRIGHT © 2021 GEOLOGIC LAND SURVEYING, PLLC ALL RIGHTS RESERVED

REVISIONS / ADDITIONS			MAP NOTES	
DATE	DESCRIPTION	BY		
10/10/21	ADD PROPOSED IMPROVEMENTS	EF	1. THIS SURVEY WAS CONDUCTED ON THE GROUND ON AUGUST 13, 2021.	
			2. PROPERTY LOCATED IN BAA ZONING DISTRICT.	
			3. PROPERTY SUBJECT TO COVENANTS AND RESTRICTIONS OF RECORD.	
			4. NO CERTIFICATION IS MADE TO THE LOCATION OF UNDERGROUND FEATURES AND/OR STRUCTURES; UNDERGROUND FEATURES, IF ANY, ARE NOT SHOWN HEREON.	
			5. REFERENCES MADE TO TOWN CLERK MAP NO. 1925, 1980, 2156, 3733, 4559, 4920, 4922, 5187, 5664, 8281, 8463, 8493, 8900 AS WELL AS BOOK 964 PAGE 938.	
			6. OFFSETS SHOWN HEREON ARE FROM EAVES OR GUTTERS	
			7. ONLY COPIES OF THE ORIGINAL OF THIS SURVEY, BEARING THE ORIGINAL IMPRESSION OF THE SURVEYOR'S EMBOSSED SEAL ATOP THE COMPANY LOGO, SHALL BE CONSIDERED TO BE VALID, TRUE, COPIES.	

FIELD PARTY: EF  
CHECKED BY: EF  
DRAWN BY: EF

JOB NO. D 17-0061 (BREEDS 2021)

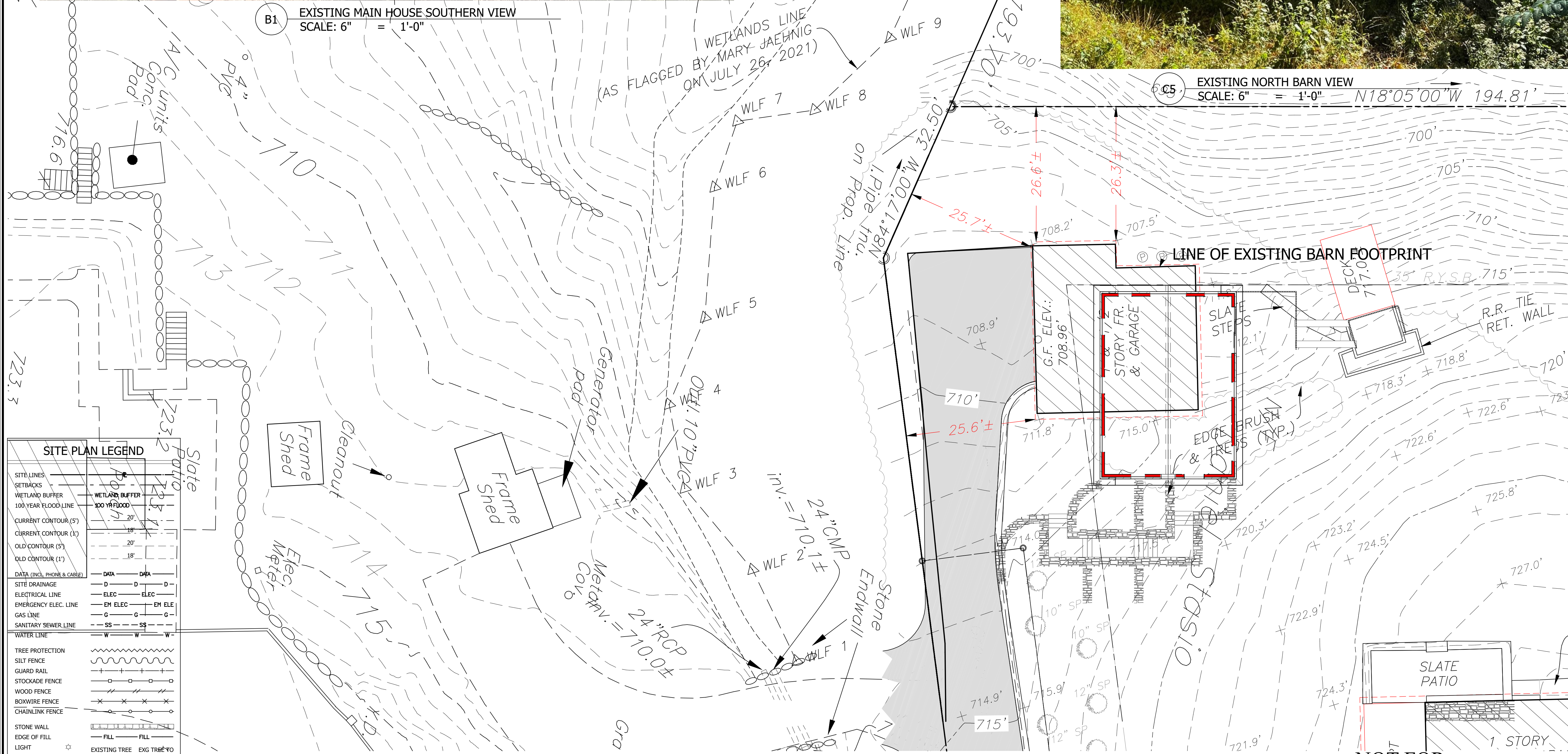




B1 EXISTING MAIN HOUSE SOUTHERN VIEW  
SCALE: 6" = 1'-0"



C5 EXISTING NORTH BARN VIEW  
SCALE: 6" = 1'-0" N18°05'00"W 194.81'

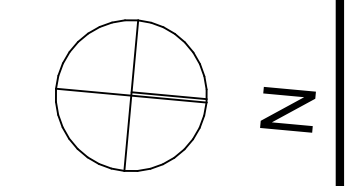


**SITE PLAN LEGEND**

SITE LINES	PO
SETBACKS	PO
WETLAND BUFFER	PO
100 YEAR FLOOD LINE	PO
CURRENT CONTOUR (5')	20'
CURRENT CONTOUR (1')	18'
OLD CONTOUR (5')	20'
OLD CONTOUR (1')	18'
DATA (INCL. PHONE & CABLE)	DATA
SITE DRAINAGE	D
ELECTRICAL LINE	ELEC
EMERGENCY ELEC. LINE	EM ELEC
GAS LINE	G
SANITARY SEWER LINE	SS
WATER LINE	W
TREE PROTECTION	PO
SILT FENCE	PO
GUARD RAIL	PO
STOCKADE FENCE	PO
WOOD FENCE	PO
BOXWIRE FENCE	PO
CHAINLINK FENCE	PO
STONE WALL	PO
EDGE OF FILL	PO
LIGHT	PO
UTILITY POLE	PO
GUY WIRE	PO
CATCH BASIN	PO
WATER VALVE	PO
LEDGE	PO
EXISTING TREE TO REMAIN	PO
EXG TREE TO BE REMOVED	PO

PROPOSED CARRIAGE HOUSE & STUDIO PLOT PLAN  
1" = 10'-0"

NOT FOR CONSTRUCTION



**MOSE**  
ASSOCIATES ARCHITECTS P.C.  
64 WALLACKS DRIVE  
STAMFORD, CONNECTICUT 06902  
203 438 5355

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PROJECT

CARRIAGE HOUSE AND STUDIO  
BREIDE RESIDENCE  
57 GOLF LANE, RIDGEBFIELD, CT 06877

DATE / REVISIONS

10-22-21 ZBA SUBMISSION SET

DRAWING TITLE

**PROPOSED SITE**

DATE: 10/22/21

BY:

JOB NO: 2111

DWG. NO:

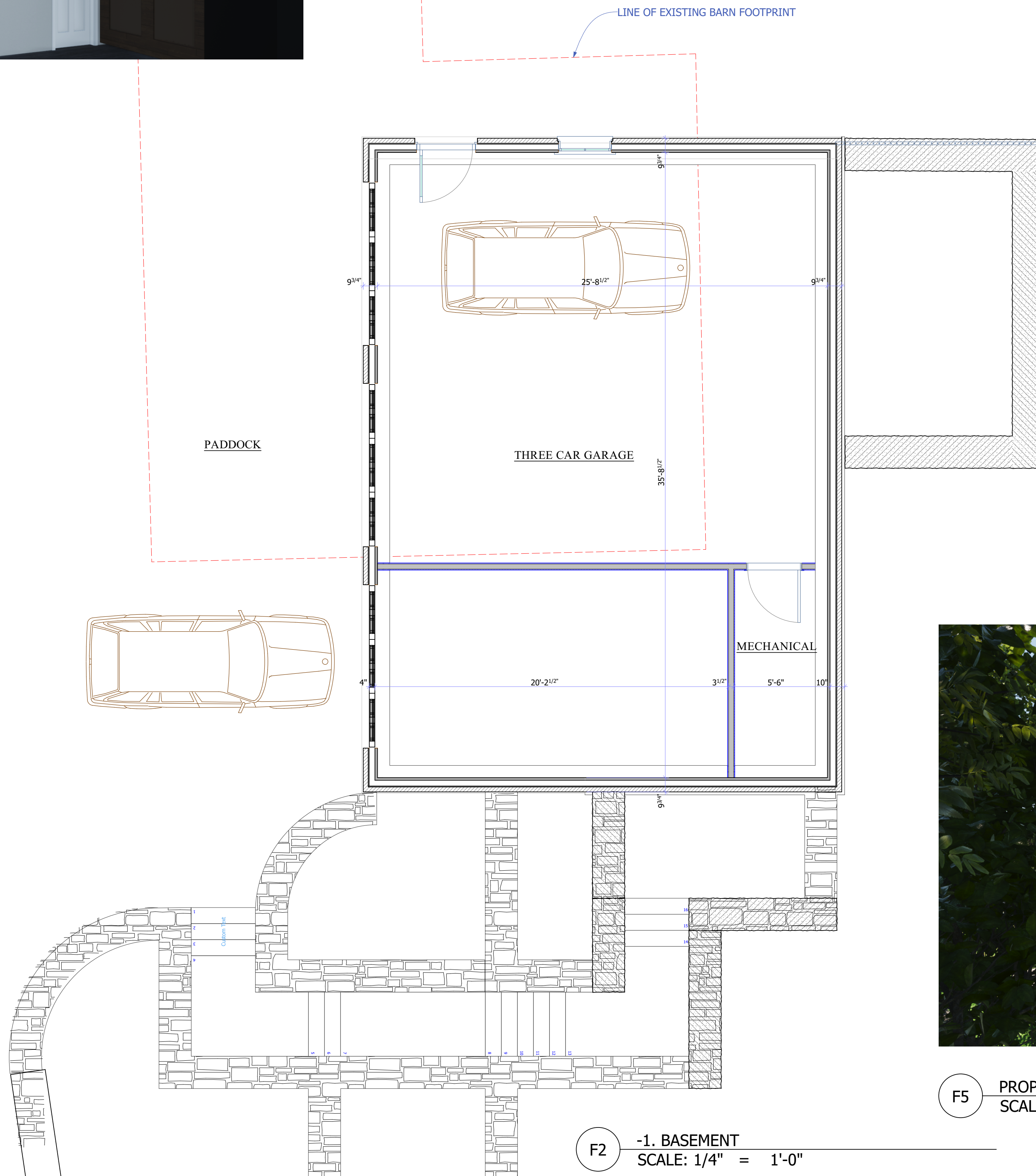
**SITE-2**

THIS DRAWING PRINTED ON 10/22/21 AT 8:55 AM FROM /Users/jeffmose/OBS/JMA/2111-Breide/Plans/2111-Breide.dwg





B1 PROPOSED INTERIOR KITCHEN VIEW  
SCALE: 1:2.49



F2 -1. BASEMENT  
SCALE: 1/4" = 1'-0"



F5 PROPOSED WEST VIEW  
SCALE: 1:2.49

**GENERAL ARCHITECTURAL NOTES:**

- REFER TO ALL APPLICABLE NOTATIONS ON ALL PLANS, ELEVATIONS, SECTIONS, AND DETAILS, TYPICAL ALL DRAWINGS.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE LIGHTING, SECURITY CONTROLS, HVAC DUCTWORK AND GRILLES WITH FRAMING. SEE ELECTRICAL, SECURITY, HVAC, AND INTERIOR ELEVATION DRAWINGS FOR LOCATIONS.
- ASSUMED SOIL BEARING CAPACITY 2 TONS/SQ. FT. SUBJECT TO INSPECTION AND VERIFICATION BY SOIL ENGINEER AND OR LOCAL AUTHORITY.
- NEW CONSTRUCTION / FOUNDATION TO BE STAKED OUT AND ALL REQUIRED BUILDING DIMENSIONS AND SETBACKS ARE TO BE FIELD VERIFIED AND APPROVED BY A LICENSED SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION.
- ALL STEEL, INCLUDING COLUMNS, BEAMS, LINTELS, ETC., IN CONTACT WITH MASONRY, TO BE COVERED WITH GCP PERM-A-BARRIER WALL MEMBRANE.
- ALL STEEL TO RECEIVE TWO SHOP COATS Tnemec RUST RESISTANT PAINT AND ONE FIELD COAT TOUCH UP, TYPICAL.
- ALL STEEL LINTELS AND OR ANGLES TO BE GALVANIZED STEEL, TYPICAL.
- GENERAL CONTRACTOR TO PROVIDE PIPING POCKETS AND 4" AND 6" DIAMETER SLEEVES BELOW SLABS AND IN FOUNDATION WALLS FOR DRAINAGE, SEPTIC, PLUMBING, ELECTRICAL, WATER, ETC. TYPICAL. REVIEW WITH ARCHITECT AND ALL SUB-CONTRACTORS FOR NUMBER AND REQUIREMENTS PRIOR TO POCKET AND SLEEVE INSTALLATION AT CONCRETE WALL AND SLAB POURS.
- ALL SLEEPING ROOMS TO HAVE AT LEAST ONE EGRESS WINDOW:  
- SILL HEIGHT 44" AFF, MAXIMUM  
- NET CLEAR OPENING = 5.7 SQUARE FEET  
- NET CLEAR HEIGHT = 24" MINIMUM  
- NET CLEAR WIDTH = 20" MINIMUM
- STAIR CONSTRUCTION TO COMPLY WITH THE FOLLOWING:  
- RISER: 4" MINIMUM, 8 1/4" MAXIMUM  
- TREAD: 9" MINIMUM RISER FACE TO RISER FACE  
- HANDRAIL HEIGHT: 30" MINIMUM, 38" MAXIMUM  
- GUARDRAIL: 36" MINIMUM HEIGHT w/ 4" MAXIMUM ON CENTER SPACINGS.
- HARD WIRED SMOKE DETECTORS w/ BATTERY BACK-UP SHALL BE LISTED BY AN APPROVED AGENCY AND SHALL BE INSTALLED AS FOLLOWS:  
- IN ALL BEDROOMS  
- IN HALLWAYS IN FRONT OF BEDROOM DOORS  
- AT THE TOP OF ALL FLIGHTS OF STAIRS AT EACH FLOOR
- HARDWIRED CARBON MONOXIDE DETECTORS w/ BATTERY BACK-UP TO BE INSTALLED OUTSIDE OF EACH SLEEPING AREA. CARBON MONOXIDE DETECTORS SHALL BE LISTED BY AN APPROVED AGENCY.
- ALL DIMENSIONS ARE SHOWN TO ROUGH FRAMING, NOT FINISHED, UNLESS OTHERWISE NOTED. DIMENSIONS AT UNDISTURBED EXISTING AREAS ARE TO EXISTING FINISHES.
- PROVIDE 4" PERFORATED FOOTING DRAIN IN GRAVEL BED WITH FILTER FABRIC AROUND ENTIRE PERIMETER OF REINFORCED POURED CONCRETE FOUNDATION (ARCHITECT SPECIFY: CONNECT TO DRYWELL / CONNECT TO DRAINAGE SYSTEM / SLOPE TO DAYLIGHT / CONNECT TO EXISTING SYSTEM PER ENGINEER'S DRAWINGS).
- PROVIDE GCP PERM-A-BARRIER WATERPROOFING SYSTEM WITH 2" OWENS CORNING RIGID INSULATION PROTECTION BOARD AT FOUNDATION WALL PERIMETER FROM TOP OF FOOTING TO BOTTOM OF WOOD FRAMING AT ALL FOUNDATION WALL EXTERIORS, TYPICAL.
- PROVIDE 1/2" REMOLDED FILLER JOINT WITH CAULKING AT ENTIRE PERIMETER OF SLAB, TYPICAL.
- PROVIDE A 6" MIN. FOOTING EXTENSION AROUND FOUNDATION WALLS, TYPICAL.
- PROVIDE A 1'-0" MIN. FOOTING EXTENSION AROUND FIREPLACE FOUNDATIONS, TYPICAL.
- MAINTAIN A MINIMUM OF 6" FROM TOP OF FOUNDATION WALL TO FINISH GRADE. NOTIFY ARCHITECT IF A DISCREPANCY OCCURS.
- PROVIDE CONCRETE HARDENER FOR CONCRETE GARAGE SLAB, TYPICAL.

**MOSE**  
ASSOCIATES ARCHITECTS PC  
64 WALLACKS DRIVE  
STAMFORD, CONNECTICUT 06902  
203 438 5355

CERTIFICATION & SEAL

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PROJECT

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BREIDE RESIDENCE  
57 GOLF LANE, RIDGEFIELD, CT 06877

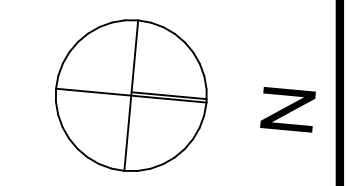
DATE / REVISIONS
10-22-21 ZBA SUBMISSION SET

DRAWING TITLE

ARCH. NOTES & BASEMENT  
PLAN

DATE:	10/22/21
BY:	
JOB NO:	2111
DWG. NO:	

NOT FOR CONSTRUCTION



**A-100**

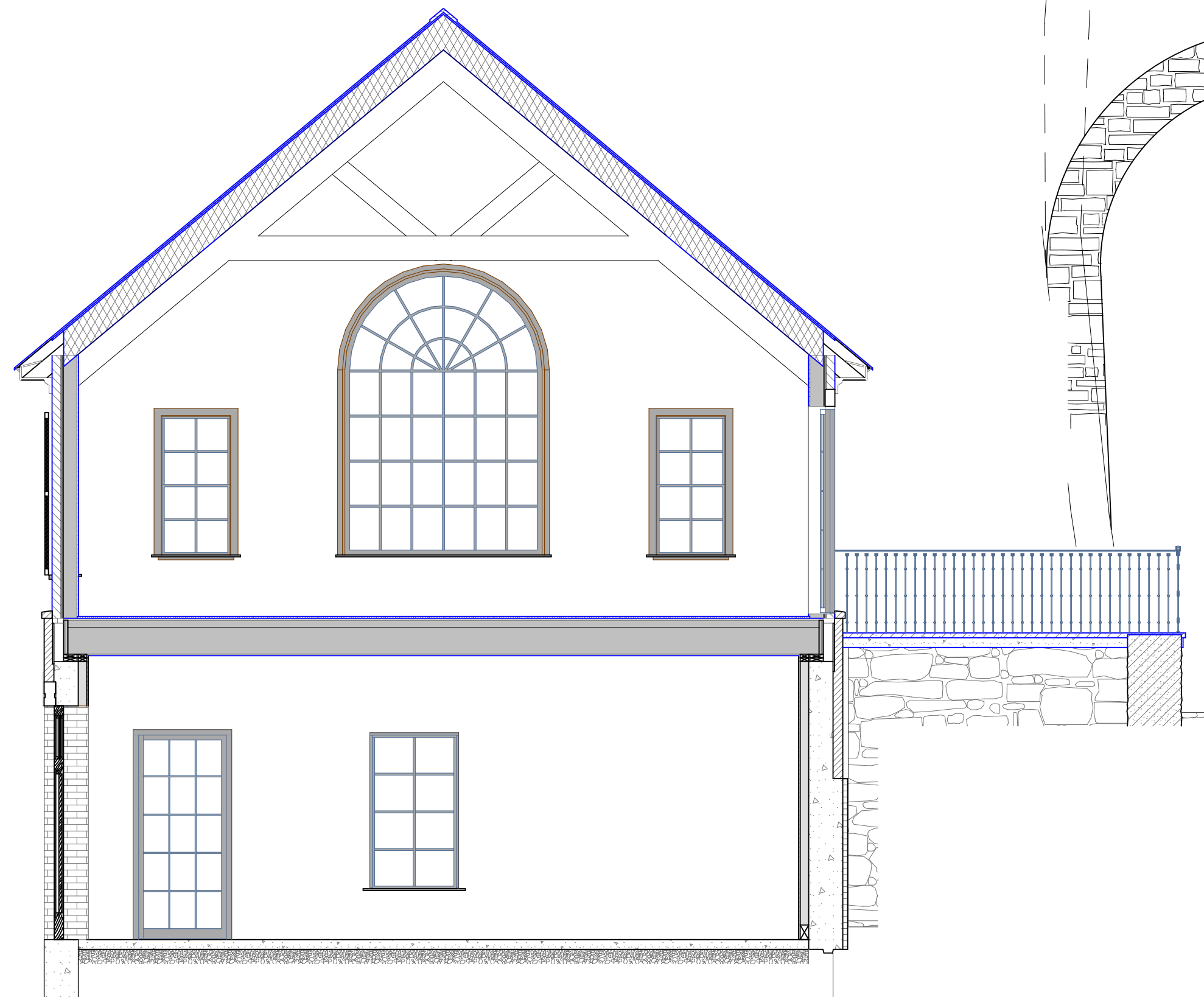




B1 PROPOSED INTERIOR GATHERING SPACE  
SCALE: 1:2.49



E2 1. 1ST FLOOR  
SCALE: 1/4" = 1'-0"

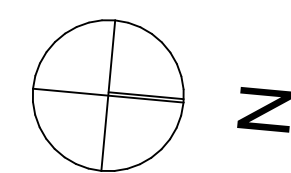


F1 EW SECTIONS 5 AT  
SCALE: 1/4" = 1'-0"



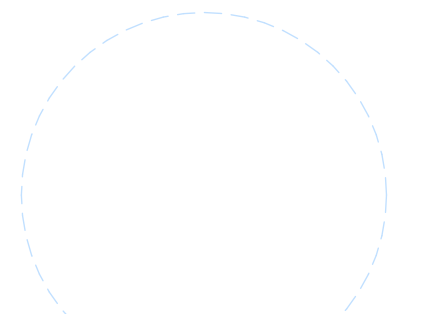
F5 PROPOSED NORTHERN PATIO VIEW  
SCALE: 1:2.49

NOT FOR  
CONSTRUCTION



ASSOCIATES ARCHITECTS PC  
64 WALLACKS DRIVE  
STAMFORD, CONNECTICUT 06902  
203 438 5355

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CARRIAGE HOUSE AND STUDIO  
BREIDE RESIDENCE  
57 GOLF LANE, RIDGEFIELD, CT 06877

DATE / REVISIONS

10-22-21 ZBA SUBMISSION SET

DRAWING TITLE  
1ST FLOOR ARCHITECTURAL  
PLAN

DATE: 10/22/21

BY:

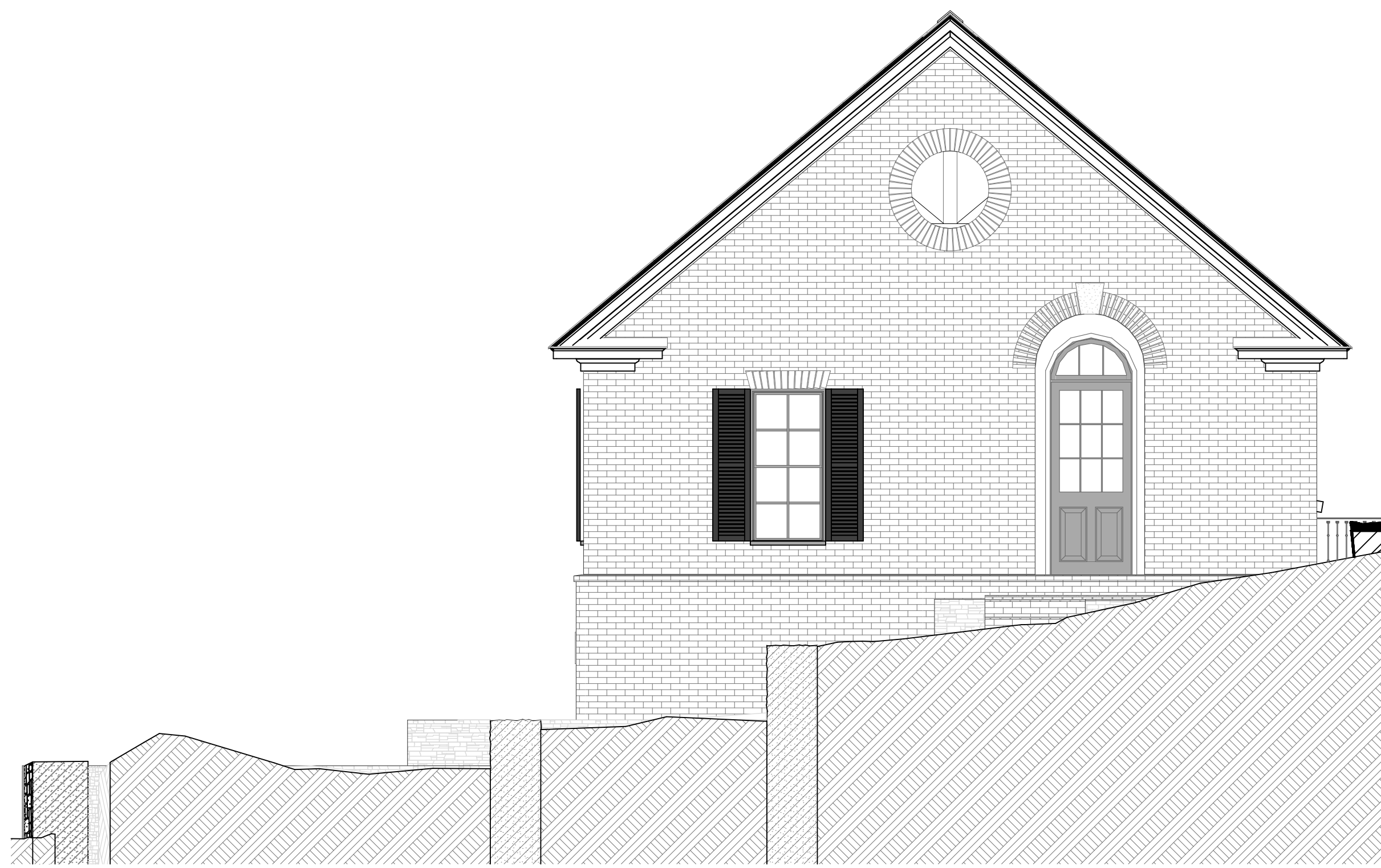
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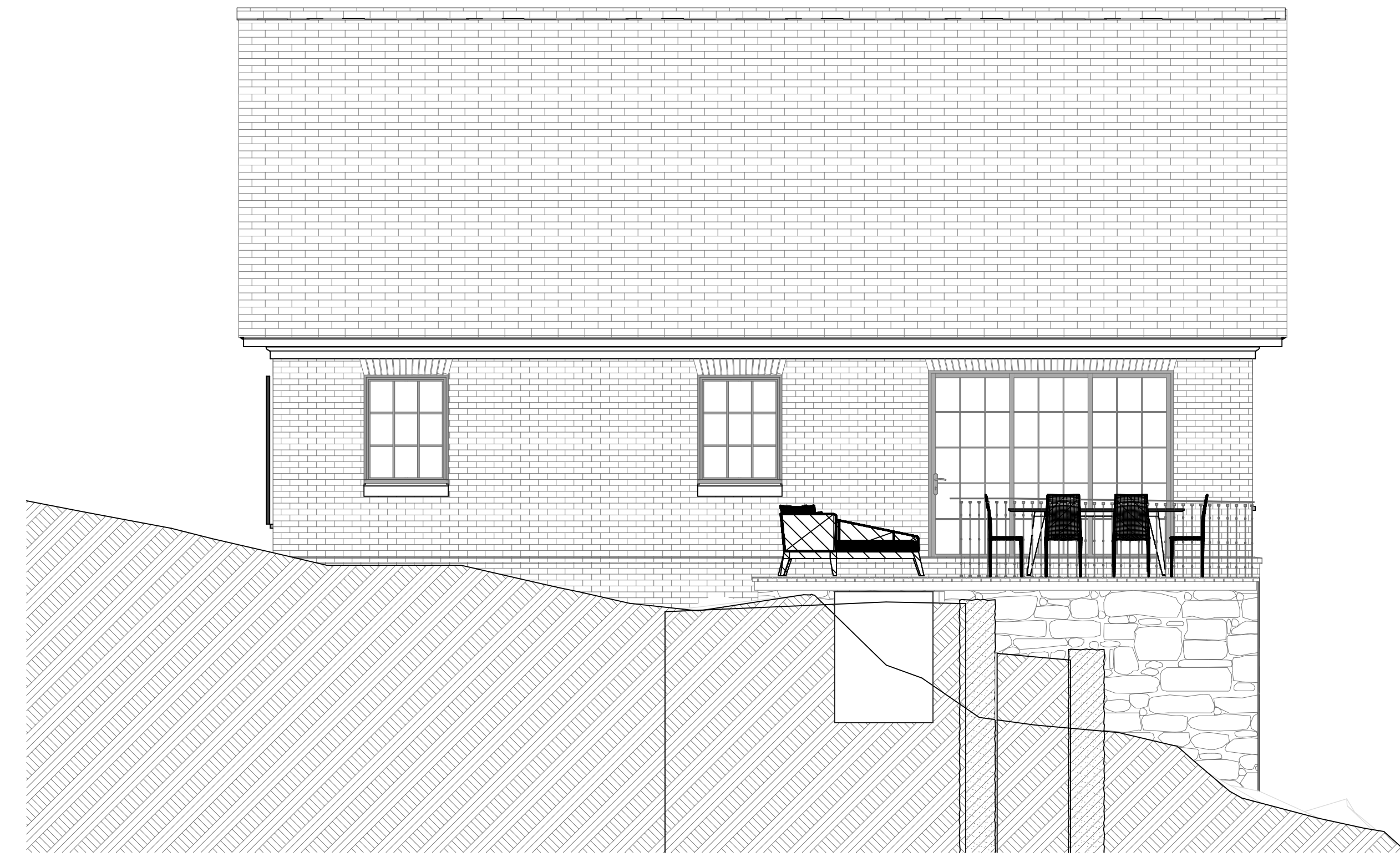
A-101



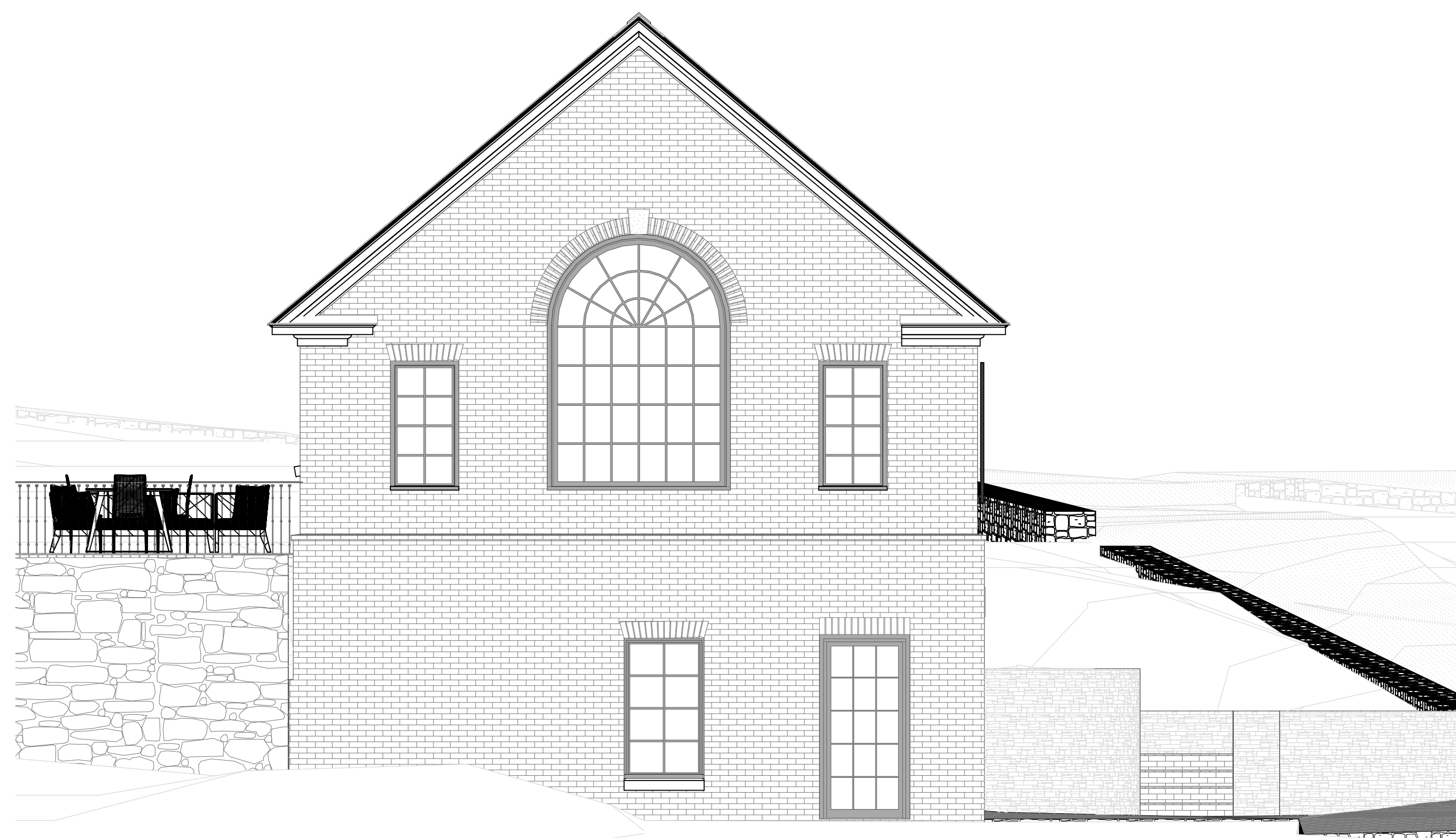
THIS DRAWING PRINTED ON 10/22/21 AT 8:55 AM FROM /Users/jeffmose/OBS\_JMA/2111-Breedle /Plans/2111-Breedle.pln



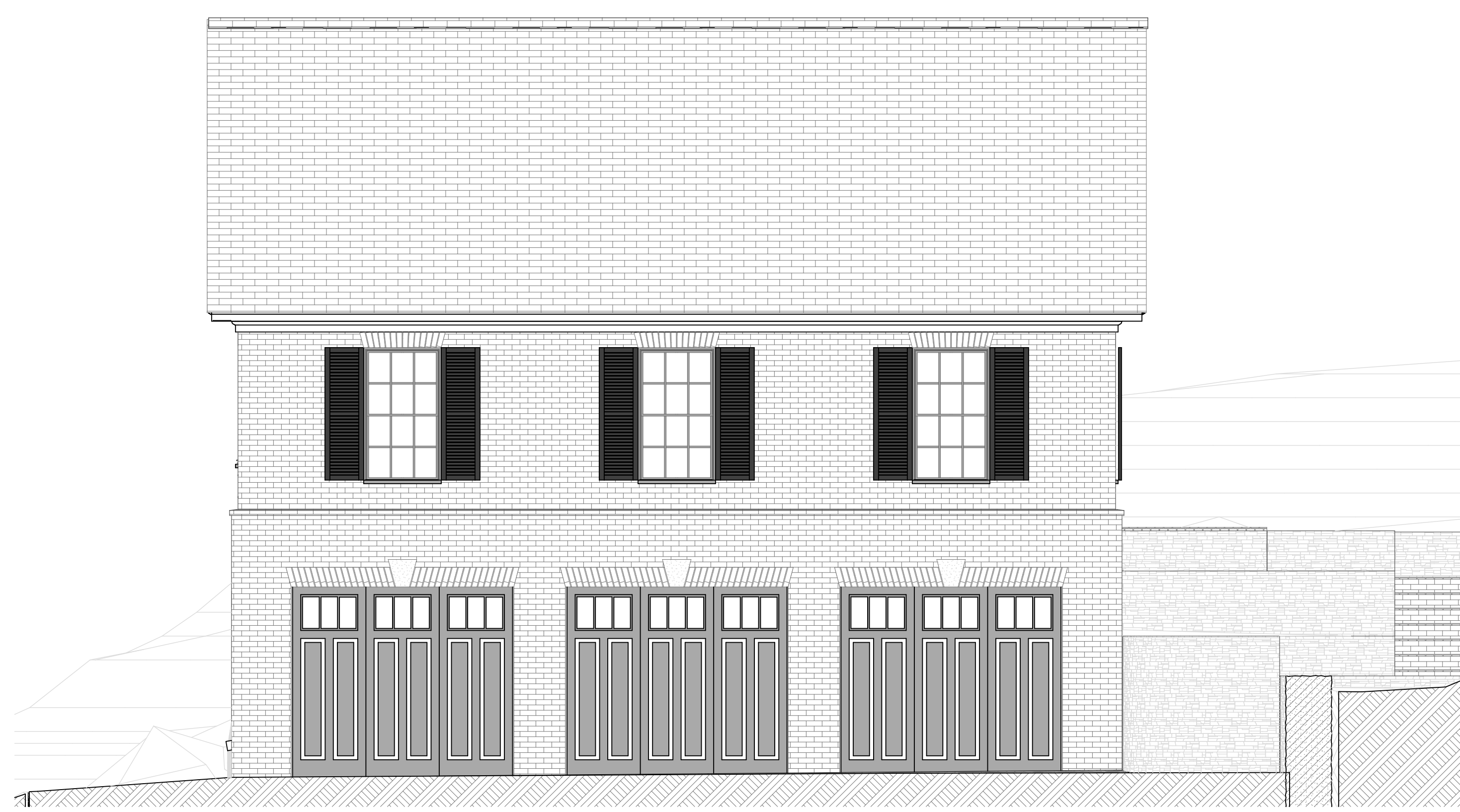
C1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"




C4 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



F1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

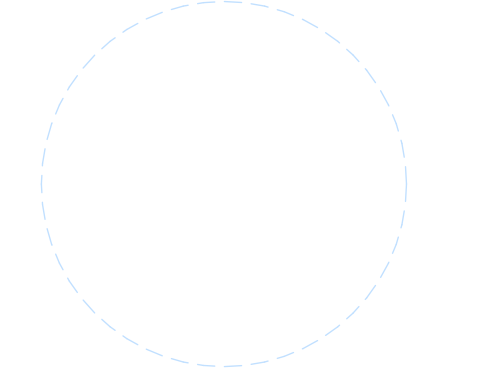


F4 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



**MOSE**  
ASSOCIATES ARCHITECTS PC  
64 WALLACKS DRIVE  
STAMFORD, CONNECTICUT 06902  
203 438 5355

CERTIFICATION & SEAL



NOTE: DO NOT SCALE DRAWINGS

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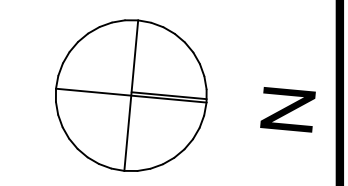
PROJECT  
CARRIAGE HOUSE AND STUDIO  
BREDE RESIDENCE  
57 GOLF LANE, RIDGEFIELD, CT 06877

DATE / REVISIONS  
10-22-21 ZBA SUBMISSION SET

DRAWING TITLE  
ELEVATION

DATE: 10/22/21  
BY:  
JOB NO: 2111  
DWG. NO:

NOT FOR  
CONSTRUCTION



**A-201**