

RENOVATION TO:

6 LAFAYETTE AVENUE
RIDGEFIELD, CT 06877

SCOPE OF WORK

1. ADD NEW ONE STORY ADDITION TO EXISTING
2. REMOVE ALL FIRST FLOOR SKYLIGHTS
3. NEW STAIR TO SECOND FLOOR.
4. EXISTING FOUNDATION TO REMAIN & STRUCTURE TO BE REINFORCED.
5. NEW ROOF ASSEMBLY.
6. NEW EXTERIOR FINISH BY OWNER.

DOCUMENT HISTORY

REV#	DATE	PURPOSE
	06.21.2022	SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
	07.14.2022	DESIGN DEVELOPMENT SET ISSUED FOR CLIENT REVIEW

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION
	DEMOLITION
N.I.C.	NOT IN CONTRACT

NOTE:
1. VERIFY ALL DIMENSIONS IN FIELD.
2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

PROGRESS PRINT
NOT FOR CONSTRUCTION

APPLICABLE CODES

DRAWINGS PREPARED TO CONFORM TO THE FOLLOWING CODES AND STANDARDS.

- 2018 CONNECTICUT STATE BUILDING CODE
- 2015 INTERNATIONAL BUILDING CODE
- 2015 EXISTING BUILDING CODE
- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70)
- 2015 INTERNATIONAL PLUMBING CODE
- 2018 CONNECTICUT STATE FIRE CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2009 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS & FACILITIES
- LOCAL STATE AND FIRE DEPARTMENT REGULATIONS

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LIST OF DRAWINGS

- | | |
|--------|---|
| T-1.00 | TITLE SHEET |
| G-1.00 | GENERAL NOTES, SYMBOLS & ABBREVIATIONS |
| D-1.00 | EXISTING BASEMENT, FIRST FLOOR & ROOF DEMOLITION PLANS |
| A-1.00 | PROPOSED BASEMENT & FIRST FLOOR PLANS |
| A-1.01 | PROPOSED ROOF & SECOND FLOOR PLANS |
| A-1.10 | PROPOSED FIRST FLOOR & SECOND FLOOR REFLECTED CEILING PLANS |
| D-2.00 | EXISTING EXTERIOR ELEVATIONS |
| A-2.00 | PROPOSED EXTERIOR ELEVATIONS |
| A-4.00 | PROPOSED INTERIOR ELEVATIONS |
| A-5.00 | WINDOW SCHEDULE, DOOR SCHEDULE & DETAILS |

CERTIFICATE OF AUTHORIZATION

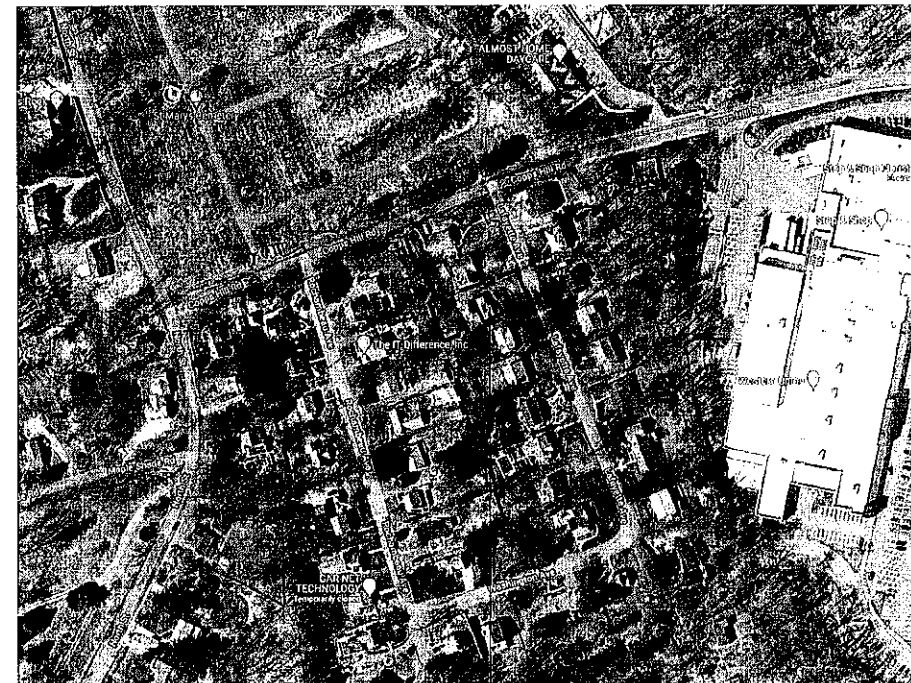
SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 0511978 NY: 033550

PROJECT:
6 LAFAYETTE AVE
RIDGEFIELD, CT 06877

SHEET TITLE
TITLE SHEET

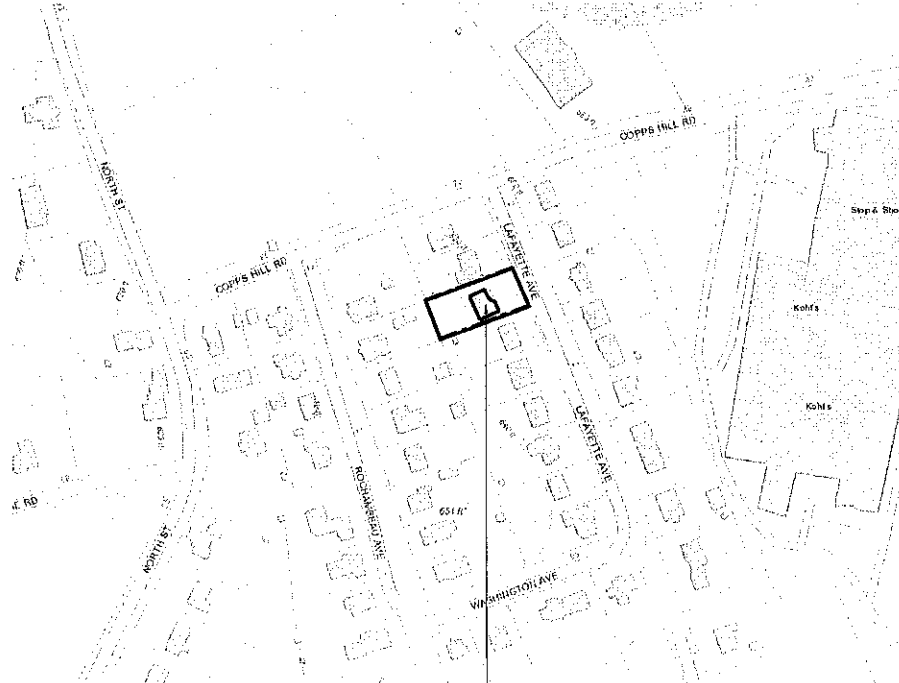
SCALE	DRAWN BY:	PROJECT #
NIS	EF	2022.071
SHEET #		

T-1.00



SUBJECT RESIDENCE

AERIAL MAP



SUBJECT RESIDENCE

GIS MAP

ABBREVIATIONS

A	- AND	F.A.I	- FRESH AIR INTAKE	PART	- PARTIAL
ADJ	- ADJACENT	F.D.	- FLOOR DRAIN	P-CONTR	- PLUMBING CONTRACTOR
AF	- ABOVE FINISH FLOOR	FIN	- FINISH	PB	- PANEL BOX
ALUM	- ALUMINUM	FIXT	- FIXTURE	P.L.T	- PLATE
ALT	- ALTERNATE	FLUMB	- FLOOR PLUMBING	P.L.U.M.B	- PLUMBING
APPROX	- APPROXIMATE	FLULR	- FLOOR	P.L.U.M.B	- PLYWOOD
ARCH	- ARCHITECTURAL	FTG	- FOOTING	P.N.	- PANEL
AVG	- AVERAGE	F.P.	- FIRE PROOF	P.F.	- PREFABRICATED
		FT	- FOOT OR FEET	P.F.I	- POLISH PER SQUARE INCH
BLDG	- BUILDING	GALV	- GALVANIZED	P.T.	- PRESSURE TREATED
BLK	- BLOCK	GEN	- GENERAL CONSTRUCTION	P.W.	- PICTURE WINDOW
		G.F.I	- GROUND FAULT INTERRUPTER	R	- RISER/RADIUS
CLG	- CEILING	G.P.	- GYP BOARD	REINF	- REINFORCED
CFM	- CUBIC FEET PER MINUTE	G.V.F	- GYP BOARD	REQD	- REQUIRED
C.M	- CENTERLINE	H.B	- HOSE BIB	RM	- ROOM
C.J.	- CONTROL JOINT	H.C	- HEATING, VENTING, AND AIR CONDITIONING CONTRACTOR	R.O.	- ROUGH OPENING
CL	- CENTER LINE	H.D	- HEAD	S	- SINK
CLOS	- CLOSET	H.H	- HOSE HEATING, VENTING, AND AIR CONDITIONING CONTRACTOR	S.B.O.	- SELECTED BY OWNER
C.O.	- CLEAN OUT	H.C	- HOLLOW CORE	SCHED	- SCHEDULE
COL	- COLUMN	INT	- INTERIOR	SD	- SMOKE DETECTOR
CONC	- CONCRETE	INSUL	- INSULATION	SECT	- SECTION
CONST	- CONSTRUCTION	IN	- INCH	SFT	- SHEET
CONTR	- CONTRACTOR	KIT	- KITCHEN	SIM	- SIMILAR
CT	- CERAMIC TILE	LAV	- LAVATORY	SQ FT	- SQUARE FEET
		LEBSW	- LEAD COATED COPPER	SS	- STAINLESS STEEL
DIA	- DIAMETER	LF	- LINEAR FEET	STD	- STANDARD
DEG	- DEGREE	MAX	- MAXIMUM	STL	- STEEL
DEMO	- DEMOLITION	MCH	- MECHANICAL	STOR	- STORAGE
D.H	- DOUBLE HUNG	MIN	- MINIMUM	STRUC	- STRUCTURAL
D.M	- DIMENSION	MISC	- MISCELLANEOUS	T	- TRADITIONAL
DN	- DOWN	MS	- MARBLE SADDLE	T.C.P	- TEMPERED TEMPERATURE CONTROL PANEL
DR	- DOOR	MO	- MASONRY OPENING	TEMP	- TEMPERED
DWG	- DRAWING	MTL	- METAL	TRNSSTAT	- TRANSISTAT
		N	- NORTH	TYP	- TYPICAL
EA	- EACH	NOT APPLICABLE	- NOT APPLICABLE	UNFIN	- UNFINISHED
E-CONTR	- ELECTRICAL CONTRACTOR	N.A	- NOT APPLICABLE	V.I.F	- VERIFY IN FIELD
E.F.	- EXHAUST FAN	N.T.S	- NOT TO SCALE	W	- WITH
E.J	- EXPANSION JOINT	OC	- ON CENTER	W.C.	- WATER CLOSET
E.L	- ELECTRICAL	OPNG	- OPENING	W.D	- WATER
ELEV	- ELEVATION			W.P.	- WATER PROOF
ENTR	- ENTRANCE			WTR	- WELDED WIRE FABRIC
EQUIP	- EQUIPMENT			W.W.M.	- WELDED WIRE MESH
EXT	- EXISTING				
EXP	- EXPANSION				
EXT	- EXTERIOR				

GENERAL NOTES

- ARCHITECT IS NOT CONTRACTED FOR SUPERVISION AND IS NOT RESPONSIBLE FOR METHODS OF CONSTRUCTION OR MATERIALS USED.
- ALL SITE MEASUREMENTS SHALL BE VERIFIED AND COORDINATED WITH ALL TRADES IN FIELD.
- ALL FIXTURES, FURNITURE AND EQUIPMENT SHALL BE SELECTED AND PROVIDED BY OWNER.
- ALL CUSTOM MILLWORK AND CABINETRY SHALL MEASURED AND FIELD VERIFIED, FINISH AND STYLE SHALL BE SELECTED BY OWNER.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE STATE IN WHICH THE PROJECT RESIDES AND INTERNATIONAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PRIORITIES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.).
- MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.
- ALL WORK SHALL CONFORM TO ALL CODES HAVING JURISDICTION, WHERE CONFLICTS OF OR BETWEEN CODES OCCUR, THE MORE STRINGENT CODE SHALL SUPERSEDE ALL OTHERS.
- USE ONLY NEW MATERIALS WITHOUT DEFECTS.
- EACH CONTRACTOR AND/OR SUB-CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH OTHER TRADES.
- DISCREPANCIES AND OMISSIONS ON DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT OR ENGINEER IN WRITING FOR CLARIFICATION.
- ALL CONTRACTORS AND/OR SUB-CONTRACTORS ARE TO USE THE APPROVED STANDARDS: A.I.S.C., FEDERAL, U.S., ETC., AND THE HIGHEST STANDARDS OF THEIR TRADES. ALL CONSTRUCTION SHALL BE PERFORMED TO THESE STANDARDS.
- SET ALL WORK STRAIGHT, PLUMB, AND LEVEL OR WITH INDICATED SLOPE.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL AND RUBBISH. AT THE COMPLETION OF WORK, HE SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS AND SURPLUS MATERIALS, AND LEAVE THE JOB IN A "ROOM CLEAN" CONDITION.
- NO WORK TO COMMENCE UNTIL APPROVAL IS OBTAINED FROM LOCAL BUILDING AND DEPT. OF PLANNING AND ZONING, AND ALL NECESSARY PERMITS HAVE BEEN SECURED.
- THE ARCHITECT OR ENGINEER ARE TO BE NOTIFIED A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO ANY INSPECTIONS.
- ALL PROPERTY AND SURFACES DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR OR SUB-CONTRACTORS OR THEIR WORK FORCE SHALL BE REPAIRED TO MATCH THE SURROUNDING SURFACES OR ORIGINAL CONDITIONS TO THE SATISFACTION OF THE OWNER AND ARCHITECT OR ENGINEER.
- ANY DEVIATION FROM THESE PLANS SHALL CAUSE THE WORK TO CEASE IN THE AFFECTED AREA UNTIL THE CHANGE HAS BEEN APPROVED BY THE ARCHITECT OR ENGINEER.
- THESE DRAWINGS AND SPECIFICATIONS ARE VALID ONLY IF THEY BEAR THE IMPRESSED SEAL AND ORIGINAL SIGNATURE OF THE ARCHITECT OR ENGINEER WHOSE NAME APPEARS HEREON.
- ANY UNAUTHORIZED ALTERATION OF OR ADDITION TO THESE DRAWINGS IS A VIOLATION TO THE ARCHITECT'S CONTRACT AND SHALL BE NOTIFIED ONLY IN WRITING, SIGNED AND SEALED BY THE ARCHITECT OR ENGINEER.
- ALL PREPARATION AND PAINTING WORK SHALL BE OF FIRST QUALITY WORKMANSHIP AND ONLY SKILLED MECHANICS WILL BE EMPLOYED.
- ALL GLASS IN EXTERIOR WALLS SHALL BE INSULATED GLASS (DOUBLE GLAZED).
- ALL DOORS AND WINDOWS IN EXTERIOR WALLS SHALL BE WEATHER-STRIPPED.
- ALL CONCRETE TO BE MINIMUM OF 3,000 P.S.I. (CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS).
- ARCHITECT CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE AND BELIEF, DRAWINGS AND SPECIFICATIONS COMPLY WITH ALL LOCAL CODES.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION AND/OR INSPECTION OF THE CONSTRUCTION SITE. THE ARCHITECT OR HIS AGENTS SHALL BE ALLOWED FREE ACCESS TO THE CONSTRUCTION SITE AND/OR PROJECT.
- ALL ORIGINAL CONSTRUCTION DOCUMENTS, PHOTOGRAPHS, SKETCHES AND ESTIMATES SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE CONSIDERED AS INSTRUMENTS OF THE SERVICE RENDERED. THE ARCHITECT DOES NOT WARRANT WHETHER THEY WERE EXECUTED OR NOT.
- ANY MODIFICATION OR REPRODUCTION OF THESE PLANS OR SPECIFICATIONS FOR USES OTHER THAN THE INTENDED PROJECT IS STRICTLY FORBIDDEN WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND MISALIGNMENTS ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
- ALL TILE ON BATHROOM WALLS SHALL BE INSTALLED OVER 1/2" CEMENT BOARD (WONDER BOARD) AND ALL OTHER WALL SURFACES SHALL HAVE 1/2" (GREEN BOARD) WATER RESISTANT GYPSUM BOARD.
- ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR GRADE #2 OR BETTER AND HAVE A MINIMUM OF FB = 1200 PSI.
- ALL JOISTS SHALL BE DOUBLED UNDER ALL PARALLEL WALLS ABOVE AND BLOCKED SOLE UNDER ALL PERPENDICULAR TO THE JOISTS. BRIDGING SHALL BE INSTALLED ON ALL JOIST SPANS EXCEEDING 10'-0" AT MID-SPAN AND AT 3RD POINTS OF SPANS EXCEEDING 17'-0". BRIDGING SHALL BE INSTALLED.
- ALL WOOD MATERIALS AND FLOOR SYSTEMS PLACED CONCRETE SLABS ON GRADE OR CONCRETE PIERS SHALL BE CONSTRUCTED WITH PRESSURE TREATED LUMBER IN ACCORDANCE WITH ATC, AND SHALL BE CAULKED AT THE SLAB TO PREVENT AIR PENETRATION.
- ALL FOOTINGS SHALL BEAR ON VIRGIN, UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 1.5 TONS PSF. WHERE FOOTINGS BEAR ON ROCK FOOTINGS SHALL BE LEVEL AND 12" DIAMETER STEEL COWLS INSTALLED INTO THE ROCK 24" ON CENTER, 8" DEEP UNLESS SPECIFIED OTHERWISE AND SECURED WITH NON-SHRINKING GROUT.
- THE BOTTOM OF ALL FOOTINGS TO BE A MINIMUM OF 3'-8" BELOW FINISHED GRADE UNLESS NOTED OTHERWISE. IF STEP FOOTINGS ARE REQUIRED, STEPS SHOULD NOT EXCEED 16" RISE PER 45" RUN.
- SLOPE ALL GRADES AWAY FROM THE BUILDING. 14" 12" MINIMUM PITCH FOR GRASS AREAS AND 1.5" 12" MINIMUM PITCH FOR SMOOTH FINISHED PAVED AREAS. HANDICAP ACCESSIBLE GRADES SHALL NOT EXCEED 1" 12" PITCH.
- ALL METAL CONNECTORS, PLATES, NAILS, BOLTS, SCREWS, ETC. SPECIFIED FOR CONSTRUCTION SHALL BE INSTALLED PER MANUFACTURER'S STANDARDS AND SPECIFICATIONS. NO SUBSTITUTION IS PERMITTED WITHOUT EXPRESS WRITTEN AUTHORIZATION BY ARCHITECT.
- ALL COMPOSITE WOOD PRODUCTS, I.E. WOOD IBEAMS, MICROLAM, PARALAM, GLULAMS AND/OR STRESS SKIN INSULATED PANELS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. NO SUBSTITUTION IS PERMITTED WITHOUT EXPRESS WRITTEN AUTHORIZATION BY ARCHITECT. DO NOT LEAVE THE ABOVE WOOD PRODUCTS OUTSIDE UNPROTECTED FROM THE ELEMENTS.
- ANY CONTRACTOR INSTALLING CONSTRUCTION MATERIAL NOT IN ACCORDANCE WITH MATERIAL MANUFACTURER'S SPECIFICATIONS, COMMON TRADE PRACTICES OR IN ACCORDANCE WITH ARCHITECT'S CONSTRUCTION DOCUMENTS SHALL BE RESPONSIBLE FOR THEIR TRADES. ALL CONSTRUCTION SHALL BE MATERIAL AND CORRECT RE-INSTALLATION AT THEIR COST UNLESS AGREED TO OTHERWISE BY OWNER AND ARCHITECT.
- BOILER SHALL HAVE A LOW WATER SHUT OFF VALVE.
- KITCHEN RANGE HOOD MUST HAVE A BACK DRAFT DAMPER.
- FLASHING SHALL BE CORROSION-RESISTIVE AND LOCATED AT THE TOP OF ALL EXTERIOR WINDOWS AND DOORS AND INTERSECTION OF CHIMNEY.
- EXTERIOR PARTITIONS ARE TYPICALLY 2X6S AT 15" ON CENTER, UNLESS NOTE OTHERWISE.
- HEADER SCHEDULE:
INTERIOR (2) 2X10S (UP TO 4'-0" OPENINGS),
EXTERIOR (3) 2X10S (UP TO 5'-0" OPENINGS).
- PLYWOOD SHEATHING FOR EXTERIOR WALLS AND ROOF SHALL BE CDX EXPOSURE #1 WITH EXTERIOR GRADE AS GRADED BY AMERICAN PLYWOOD ASSOCIATION (APA). PLYWOOD THICKNESS TO BE AS SHOWN ON THE DRAWINGS.
- FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE, "STURD-I-FLOOR" EXPOSURE #1 PLYWOOD AS GRADED BY APA. ALL FLOORS PLYWOOD TO BE GLEED AND NAILED AS PER MANUFACTURER'S INSTRUCTIONS. EXCEPT, AT AREAS TO RECEIVE CERAMIC TILE, GLUE AND SCREW T&G PLYWOOD SUB-FLOOR.
- LATERAL BRACING: AT FLOOR FRAMING PROVIDE 1X3 CROSS-BRACING OR SOLID BLOCKING AT MID SPAN OF JOISTS UP TO 16'-0". AT ONE-THIRD POINTS (2 ROPS) AT JOIST SPANS OF GREATER THAN 16'-0".
- PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS.
- PROVIDE 1 ROW OF SOLID BLOCKING (STAGGERED AND END NAILED) AT MID SPAN OF ALL PARTITIONS 5'-0" IN HEIGHT OR GREATER.
- PROVIDE SOLID BLOCKING FOR FIRE-STOPPING AT FLOOR LINES.
- PROVIDE SOLID BLOCKING BELOW ALL BEAMS AND HEADERS.
- EXTERIOR LUMBER: ALL EXTERIOR CONSTRUCTIONS, INCLUDING DECKS, SHALL UTILIZE "PRESSURE TREATED" LUMBER.
- ALL JOIST HANGERS, HURRICANE CLIPS AND OTHER CONNECTORS TO BE MINIMUM 1/8 GAUGE, ZINC COATED STEEL, SIZED AS REQUIRED FOR MEMBER CONNECTED.
- ALL NAILING SHALL CONFORM TO RECOMMENDED NAILING SCHEDULE OF CONNECTICUT STATE BUILDING CODE OR OTHER CONTROLLING JURISDICTION.
- FRAMER IS TO PROVIDE SOLID WOOD TRIPLE 2X8 POSTS UNDER ALL WOOD BEAMS, POSTS ARE TO BEAR ON SOUND WOOD BLOCKING FOR DIRECT LOAD TO TRANSFER TO FOUNDATION.
- INSTALL SKEWED METAL HANGERS AT ALL ANGLED BEAM CONNECTIONS. INSTALL METAL WIPRIDGE CONNECTORS AT ALL RIDGE AND HIP JUNCTIONS. USE SIMPSON HANGERS OR EQUAL.
- INSTALLATION OF ALL DOORS, WINDOWS, AND ALL OTHER BUILDING COMPONENTS IS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
- SITE ENGINEERING AND ALL MECHANICAL, PLUMBING, ELECTRICAL ENGINEERING ARE NOT INCLUDED IN THE PLANNING OF THESE DRAWINGS.
- KITCHEN LAYOUT SHOWN ON THE DRAWINGS IS SCHEMATIC ONLY. FINAL APPLIANCE LOCATIONS AS WELL AS CABINET SIZES / CONFIGURATIONS ARE TO BE APPROVED BY THE OWNER AND PROVIDED BY KITCHEN MANUFACTURER.
- PROVIDE ONE (1) LAYER OF 5/8" FIRE RATED GYPSUM BOARD AT ALL GARAGE DEMISING PARTITIONS, CEILING AND SEAMS.
- INSULATION: PROVIDE FIBERGLASS BATT INSULATION WITH INTEGRAL VAPOR BARRIER, INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS TO BE FOLLOWING LEVELS (UNLESS OTHERWISE INDICATED ON THE DRAWINGS):
CEILING: R-20
EXTERIOR WALLS: R-20 OR R-13+5
TOP FLOOR CEILING: R-49
BASEMENT CEILING: R-30
CATHEDRAL CEILING: (AS PER DRAWINGS)
NEW YORK EXTERIOR WALLS: R-20
TOP FLOOR CEILING: R-38
BASEMENT CEILING: R-30
CATHEDRAL CEILING: (AS PER DRAWINGS)

- CONNECTIONS TO BE MINIMUM 1/8 GAUGE, ZINC COATED STEEL, SIZED AS REQUIRED FOR MEMBER CONNECTED.
 - PLUMBING CONTRACTOR SHALL INFORM ARCHITECT OF ANY REVISIONS TO PLAN SHALL BE NECESSARY, BASED ON CONDITIONS UNCOVERED IN THE FIELD, IN ORDER TO INSTALL ALL FIXTURES, EQUIPMENT AND PIPING IN STRICT ACCORDANCE WITH REQUIREMENTS OF THE NYC BUILDING CODE.
 - PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
 - REMOVE OR RELOCATE ALL PLUMBING AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.
 - ALL CONCEALED PLUMBING SHALL BE REPLACED WITH NEW, PROVIDE ACCESSIBLE ISOLATION VALVES IF NONE ARE PRESENT.
- NOTE: THIS PLAN IS APPROVED ONLY FOR WORK APPROVED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER APPROVED OR IN ACCORDANCE WITH APPLICATION CODES.
- ### SMOKE DETECTING DEVICES
- DWELLING UNITS SHALL BE EQUIPPED WITH SMOKE DETECTING DEVICES, HARDWIRED WITH BATTERY BACK-UP.
 - SMOKE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS:
A. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN EACH ROOM.
B. IN EACH ROOM USED FOR SLEEPING PURPOSES.
C. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES, FINISHED ATTICS AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- ### CARBON MONOXIDE DETECTOR NOTES
- CARBON MONOXIDE DETECTION DEVICES SHALL CONFORM TO STATE BUILDING CODE.
 - CARBON MONOXIDE DETECTION DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.
 - CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS:
A. OUTSIDE OF ANY ROOM USED FOR SLEEPING PURPOSES, WITHIN 15 FEET (4573 MM) OF THE ENTRANCE TO SUCH ROOM.
B. IN ANY ROOM USED FOR SLEEPING PURPOSES.
C. ON ANY STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES, FINISHED ATTICS AND PENTHOUSES OF ANY AREA, NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- ALL CARBON MONOXIDE DETECTION DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.
- ### GENERAL CONCRETE AND MASONRY NOTES
- CONCRETE DIMENSIONS ARE TYPICALLY TO FACE OF WALL.
 - ALL CONCRETE SLABS SHALL BE MINIMUM 4" THICK, WITH 6X6-10X10-W1.4XW1.4 WELDED WIRE FABRIC, PLACED OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER A MINIMUM 8" BED OF COMPACTED GRAVEL.
 - PROVIDE 1/2" THICK EXPANSION JOINT MATERIAL AT PERIMETER WHERE SLABS ABUTS OTHER CONCRETE OR MASONRY MATERIAL.
 - ALL STEEL REINFORCING INDICATED ON THESE DRAWINGS SHALL CONFORM TO ASTM A615, GRADE 60, SIZES AS SHOWN IN THE DRAWINGS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM 185. SEE DRAWINGS FOR LOCATIONS OF REINFORCEMENT.
 - PROVIDE ANCHOR BOLTS, SIZES AS INDICATED ON THESE DRAWINGS, AT TOP OF CONCRETE FOUNDATION WALLS AT MINIMUM 1'-0" FROM CONCERNS AND MAXIMUM 4'-0" O.C. FOR BALANCE OF PERIMETER WALLS, TWO PER PLATE MINIMUM.
 - REMOVE ALL WATER FROM EXCAVATION PRIOR TO CONCRETE PLACEMENT.
 - ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL WITH PRESUMPTIVE BEARING CAPACITY 3,000 PSF, OR ON ENGINEERED STRUCTURAL FILL WITH THE SAME TESTED CAPACITY.
 - STEP CONCRETE FOOTINGS AT ELEVATION CHANGES ARE TO BE ONE OF ONE VERTICAL UNIT TO TWO HORIZONTAL UNITS.
 - AT CONCRETE FROST WALLS, BOTTOM OF FOOTING TO BE SET AT MINIMUM 3'-4" DISTANCE BELOW FINISH GRADE.
 - FOR TYPICAL CONCRETE FOUNDATION WALL, FROST ALL IN FOOTING SIZES, REFER TO DRAWINGS.
 - IF CONCRETE IS TO BE POURED IN COLD WEATHER CONDITIONS, THE CONTRACTOR IS RESPONSIBLE TO IMPLEMENT ADEQUATE CONCRETE PROTECTION PROCEDURES.
 - CONCRETE FOUNDATION WALL THAT EXCEED 8'-0" IN HEIGHT MUST BE REINFORCED WITH STEEL DESIGNED BY A LICENSED STRUCTURAL ENGINEER.
 - ALL CONCRETE SHALL HAVE MINIMUM 28 DAYS STRENGTHS AS FOLLOWS:
GARAGE SLABS 3,600 PSF
BASEMENT SLABS 3,000 PSF
CRAWL SPACE SLABS 3,000 PSF
EXTERIOR SLABS 3,000 PSF
FOUNDATION WALLS 3,000 PSF
 - FOUNDATION BACKFILL SHALL NOT TAKE PLACE UNTIL

MATERIAL LEGEND

	CONCRETE		PARTICLE BOARD
	CONCRETE MASONRY UNITS		FLYWOOD
	BRICK		CONTINUOUS WOOD FRAMING THROUGH MEMBER
	METALS		FINISHED WOOD
	COMPACTED GRAVEL		BATT INSULATION
	EARTH UNDISTURBED SOIL		NEW PARTITION (INDICATES PARTITION TYPE)

GRAPHIC LEGEND

	WINDOW TYPE (SEE SCHEDULE)		REFERENCE POINT
	DOOR NUMBER (SEE SCHEDULE)		INDICATES HIDDEN LINE ABOVE, BELOW, BETWEEN OR ITEMS TO BE REMOVED
	INTERIOR WALL ELEVATION NUMBERS		CENTERLINE OR N.L.C.
	DETAIL NO. DWG. NO.		EXISTING CONSTRUCTION
	WALL TYPE		EXISTING CONSTRUCTION TO BE REMOVED
	EXTERIOR ELEVATIONS		NEW CONSTRUCTION
	BUILDING/WALL SECTION		EQUIPMENT TYPE (SEE SCHEDULE)
	WALL SECTION		BEAM NUMBER (SEE SCHEDULE)

ELECTRICAL SYMBOLS

	DUPLEX RECEPTICAL OUTLET		EMERGENCY SWITCH		CEILING MOUNTED LIGHT		LINEAR LIGHT
	OUTLET FOR WASHER		SWITCH		WALL MOUNTED LIGHT FIXTURE		RECESSED LIGHT
	OUTLET FOR DRYER		3-WAY SWITCH		WALL MOUNTED LIGHT FIXTURE		EMERGENCY EXIT SIGN
	RANGE OUTLET		4-SWITCH		CEILING FAN WITH LIGHT		COMBINATION EGRESS & EMERGENCY LIGHTING FIXTURE
	EXHAUST FAN		OVERHEAD DOOR OPERATOR		SPRINKLER HEAD		2X4 FLUORESCENT LIGHT
	TELEPHONE JACK		OVERHEAD DOOR PUSH BUTTON PILOT LIGHT		SURFACE MOUNTED BATHROOM OVERHEAD CEILING HEATER		2X2 FLUORESCENT LIGHT
	TELEVISION JACK/ CABLE		SMOKE DETECTOR ACIDIC		HANGING PENDANT LIGHTING		
	DATA JACK		CARBON MONOXIDE DETECTOR ACIDIC				
			FLOOR MOUNTED DUPLEX OUTLET				

DOCUMENT HISTORY		
REV#	DATE	PURPOSE
08.21.2022		SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
07.14.2022		DESIGN DEVELOPMENT SET ISSUED FOR CLIENT REVIEW

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION
	DEMOLITION
N.L.C.	NOT IN CONTRACT

NOTE:
1. VERIFY ALL DIMENSIONS IN FIELD.
2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

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 CT: 031973 NY: 03350

PROJECT:
 6 LAFAYETTE AVE
 RIDGEFIELD, CT 06877

SHEET #	GENERAL NOTES, ABBREVIATIONS & SYMBOLS
---------	--

SCALE: NTS
 DRAWN BY: EF
 PROJECT #: 2022.211

G-1.00

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DOCUMENT HISTORY		
REV#	DATE	PURPOSE
08.21.2022	08.21.2022	SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
07.14.2022	07.14.2022	DESIGN DEVELOPMENT SET ISSUED FOR CLIENT REVIEW

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION
	DEMOLITION
N.I.C.	NOT IN CONTRACT

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CERTIFICATE OF AUTHORIZATION

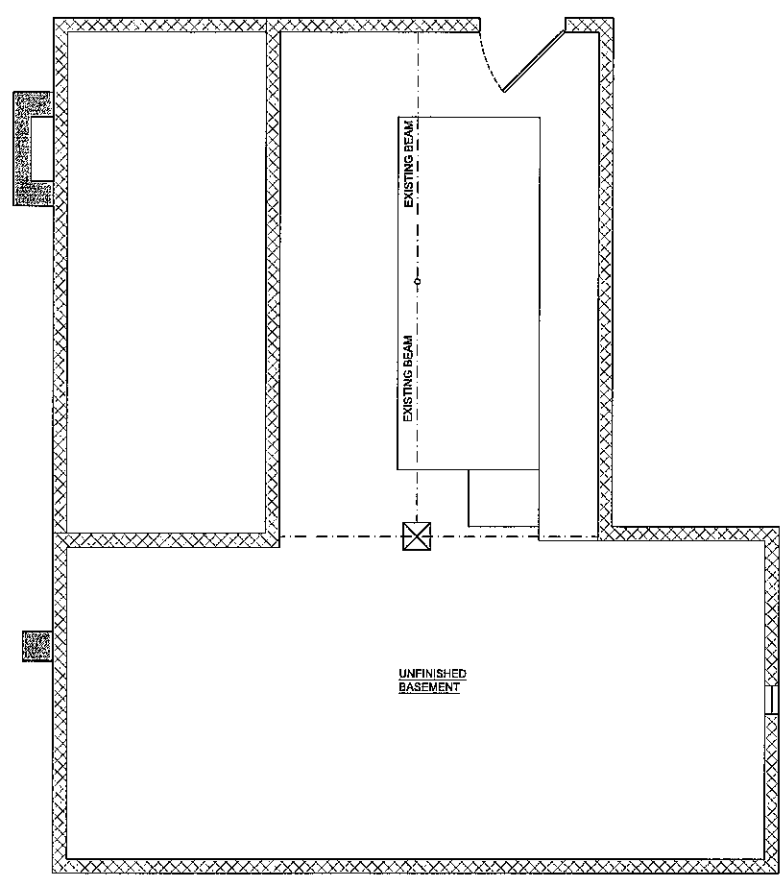
SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 0011979 NY: 533593

PROJECT:
6 LAFAYETTE AVE
RIDGEFIELD, CT 06877

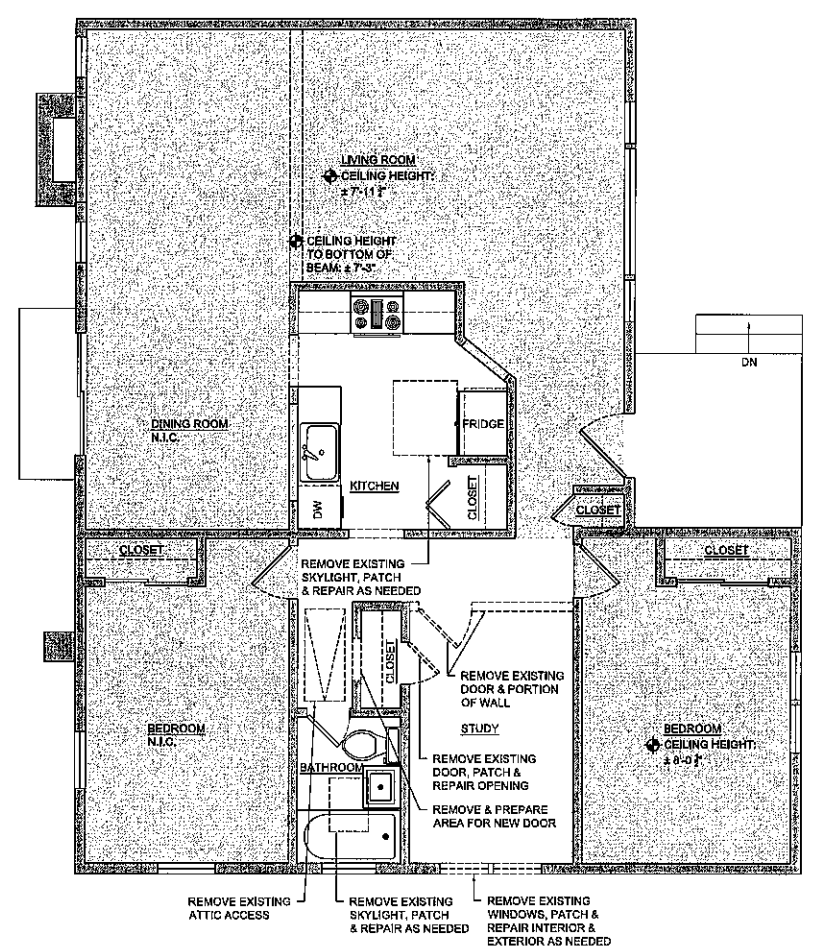
SHEET TITLE
EXISTING BASEMENT, FIRST
FLOOR & ROOF DEMOLITION
PLANS

SCALE: 1/4" = 1'-0"
DRAWN BY: EF
PROJECT #: 2022.271

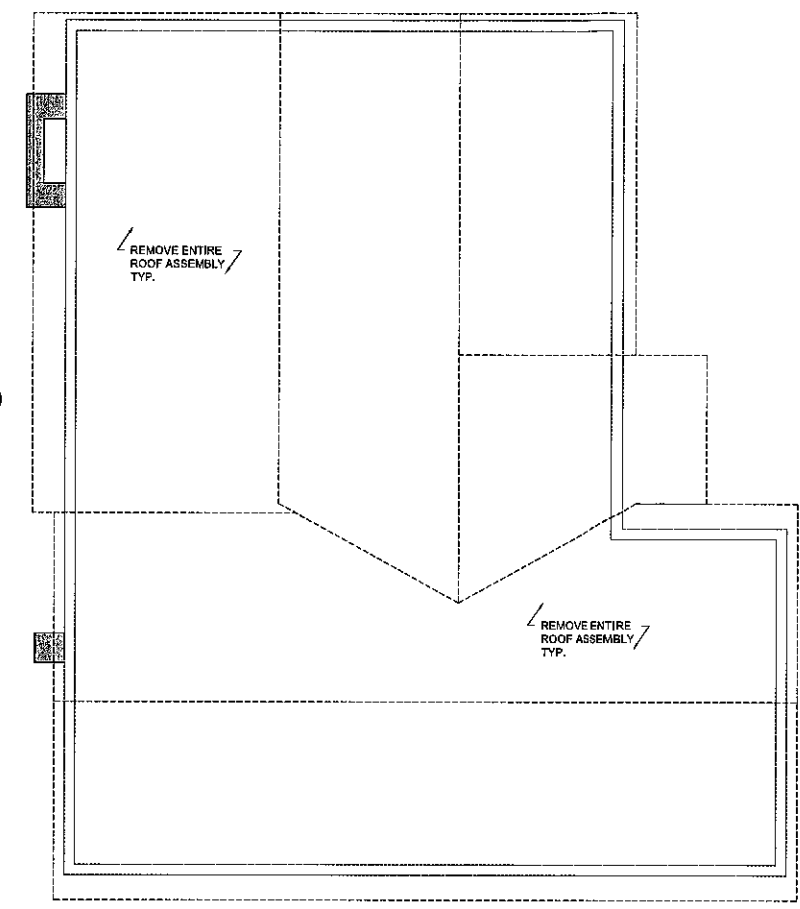
SHEET #
D-1.00



1 EXISTING BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



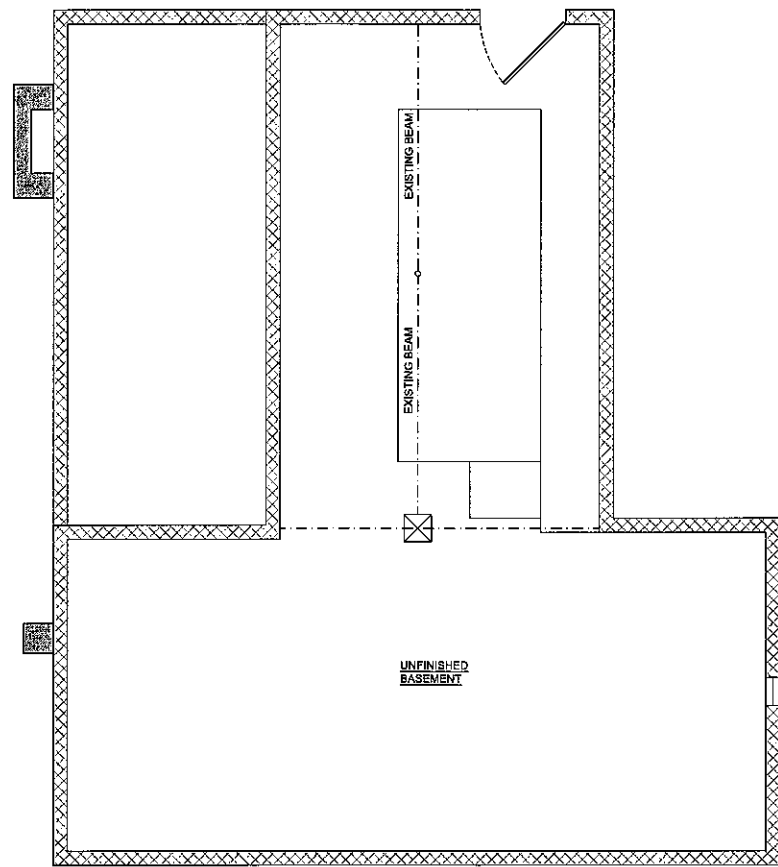
3 EXISTING ROOF DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMO NOTES

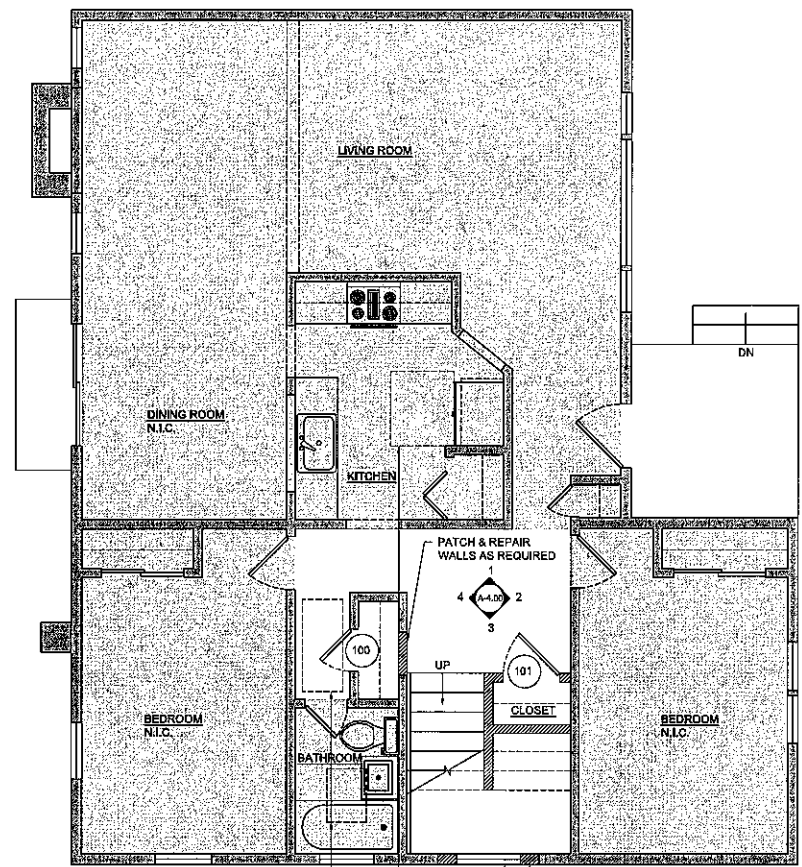
- PRIOR TO DEMOLITION, DISCONNECT AND CAP ALL EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES AS REQUIRED.
- ALL ELECTRICAL DISCONNECTS AND REMOVALS MUST BE DONE BY A LICENSED ELECTRICAL CONTRACTOR.
- ALL PLUMBING DISCONNECTS AND REMOVALS MUST BE DONE BY A LICENSED PLUMBING CONTRACTOR.
- DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.
- DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY DUMPSTERS AND CARTING FEES. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WEATHER TIGHTNESS OF FACILITY DURING CONSTRUCTION.
- CONTRACTOR SHALL PATCH AND/OR LEVEL EXISTING SURFACES AS REQUIRED TO RECEIVE NEW FINISH FLOOR.

STRUCTURE NOTES

- SOME STRUCTURE WITHIN EXISTING CONDITIONS CANNOT BE OBSERVED. IF WHAT IS FOUND IN THE FIELD IS DIFFERENT THEN DRAWINGS INDICATE, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING. CONTRACTOR IS RESPONSIBLE FOR VISITING PROJECT SITE AND NOTIFYING ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED TO MAINTAIN THE STRUCTURAL STABILITY OF THE BUILDING DURING CONSTRUCTION.
- TEMPORARY SHORE EXISTING WALL BEARING OVER HEADERS, SUPPORTING 1ST AND 2ND FLOOR, ATTIC AND ROOF FRAMING DOWN TO SOUND SUPPORT PRIOR TO COMMENCEMENT OF ANY WORK. SHORING LOCATIONS AND CONFIGURATION TO BE DETERMINED BY CONTRACTOR.



1 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOCUMENT HISTORY		
REV#	DATE	PURPOSE
06.21.2022	06.21.2022	SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
07.14.2022	07.14.2022	DESIGN DEVELOPMENT SET ISSUED FOR CLIENT REVIEW

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMOLITION
- N.I.C. NOT IN CONTRACT

NOTE:
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2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

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PROFESSIONAL LICENSE NUMBERS
CT: 0611976 NY: 05359

PROJECT:
6 LAFAYETTE AVE
RIDGEFIELD, CT 06877

SHEET TITLE
PROPOSED BASEMENT & FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
DRAWN BY: EF
PROJECT #: 2022.271
SHEET #

A-1.00

STRUCTURAL NOTES

- REFER / COORDINATE WITH STRUCTURAL SET FOR ALL DESIGN INFORMATION
- REFER TO STRUCTURAL SET FOR ALL SIZING OF MEMBERS, FRAMING AND SUPPORT

POWER PLAN NOTES

- COORDINATE WITH OWNER ALL CONVENIENCE & DATA OUTLETS.
- VERIFY ALL EXISTING OUTLETS & DATA IN FIELD.
- COORDINATE NEW EXTERIOR OUTLETS WITH OWNER PRIOR TO INSTALLATIONS.
- PROVIDE SMART HOME TECHNOLOGY, COORDINATE WITH OWNERS.
- PROVIDE LUTRON (OR SIM.) SCREW-IN SWITCH AND OUTLET PLATES, TYP. THROUGHOUT.

HEADER NOTES

- SEE HEADER SCHEDULE FOR HEADER SIZES.
- ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) 2x6 JACK STUDS AT EACH END.
- FLUSH FRAMED BEAMS ARE TO BEAR ONTO CORNER POSTS, SOLID OR BUILT-UP POSTS AS INDICATED ON THE DRAWINGS.
- WHERE (3) 2x HEADERS ARE INDICATED, INSTALL (2) 1/2" X PLYWOOD SPACERS BETWEEN EACH MEMBER.

WINDOW NOTES

- CONTRACTOR SHALL COORDINATE ALL ROUGH OPENING REQUIREMENTS FOR ALL WINDOWS WITH WINDOW MANUFACTURER. PRIOR TO FRAMING, CONTRACTOR SHALL COORDINATE ALL WINDOWS, WHERE GLASS IS LESS THAN 18" ABOVE FINISH FLOOR SAFETY GLASS SHALL BE PROVIDED.

WOOD HEADER SCHEDULE:

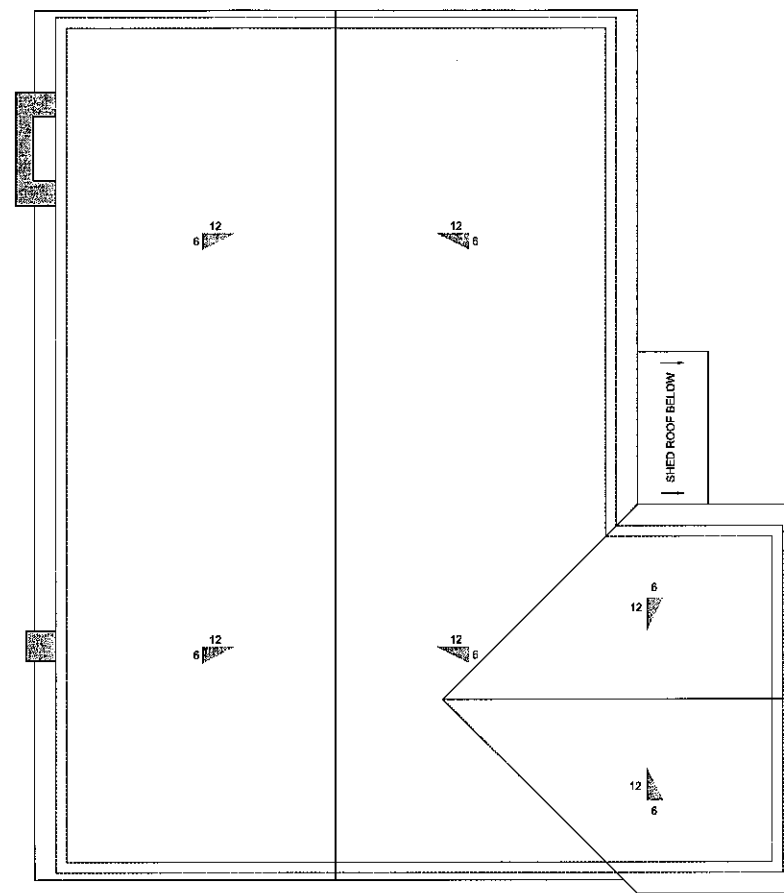
OPENING WIDTH	FLOOR	SIZE
UP TO 4'-1"	FIRST	(2) 2 X 10 OR (2) 1 1/2 X 7 LVL'S
4'-1" TO 6'-1"	FIRST	(2) 2 X 12 OR (2) 1 1/2 X 9 LVL'S
6'-1" TO 8'-1"	FIRST	(2) 1 1/2 X 11 LVL'S OR (3) 1 1/2 X 9 LVL'S
UP TO 4'-1"	SECOND	(2) 2 X 8 OR (2) 1 1/2 X 7 LVL'S
4'-1" TO 6'-1"	SECOND	(2) 2 X 12 OR (2) 1 1/2 X 9 LVL'S
6'-1" TO 8'-1"	SECOND	(2) 1 1/2 X 11 LVL'S OR (3) 1 1/2 X 9 LVL'S

S.D. TO DETERMINE IN FIELD, AVAILABLE ROOM FOR HEADER, AS INDICATED PRIOR TO FRAMING ROUGH OPENING. SEE FLOOR FOR HEADERS WITH SPANS GREATER THAN 8'-1" OR WITH LARGE POINT LOADS.

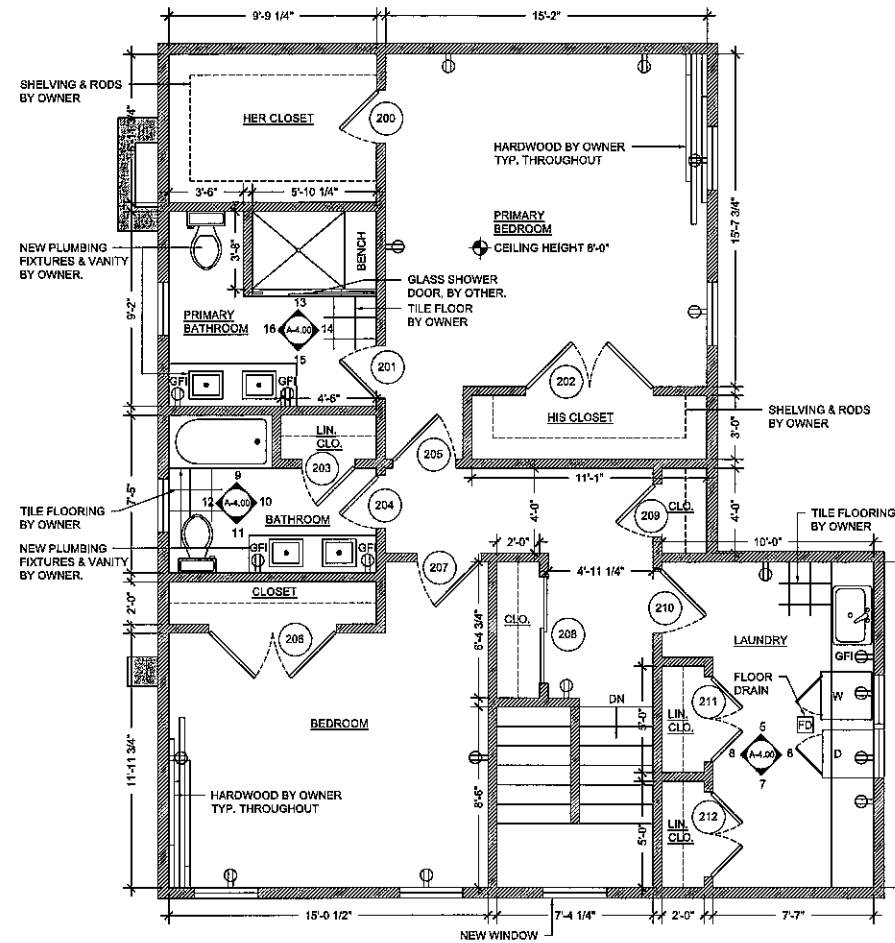
POST SCHEDULE:

MARK	SIZE	TOP CONNECTION
P1	4x4 OR 3-2x4 OR 3-2x4	2 - SIMPSON "A35" FRAMING ANCHORS
P2	4x6 OR 3-2x4 OR 4-2x4	2 - SIMPSON "A35" FRAMING ANCHORS
P3	6x6 OR 4-2x4	4 - SIMPSON "A35" FRAMING ANCHORS
P4	3-2x4 PRL, 6x6 OR 6x6	4 - SIMPSON "A35" FRAMING ANCHORS

PRL = PARALLEL BY TRUS JOISTS MAGALLAN POSTS SHALL REST ON GROUND FOUNDATION OR APPROVED SOLID BLOCKING



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOCUMENT HISTORY		
REV#	DATE	PURPOSE
06.21.2022	06.21.2022	SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
07.14.2022	07.14.2022	DESIGN DEVELOPMENT SET ISSUED FOR CLIENT REVIEW

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMOLITION
- N.I.C. NOT IN CONTRACT

NOTE:
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2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

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CERTIFICATE OF AUTHORIZATION

STRUCTURAL NOTES

- REFER / COORDINATE WITH STRUCTURAL SET FOR ALL DESIGN INFORMATION
- REFER TO STRUCTURAL SET FOR ALL SIZING OF MEMBERS, FRAMING AND SUPPORT

SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 091978 NY: 05850

POWER PLAN NOTES

- COORDINATE WITH OWNER ALL CONVENIENCE & DATA OUTLETS.
- VERIFY ALL EXISTING OUTLETS & DATA IN FIELD.
- COORDINATE NEW EXTERIOR OUTLETS WITH OWNER PRIOR TO INSTALLATIONS.
- PROVIDE SMART HOME TECHNOLOGY, COORDINATE WITH OWNERS.
- PROVIDE LUTRON (OR SIM.) SCREW-IN SWITCH AND OUTLET PLATES, TYP. THROUGHOUT.

PROJECT:
6 LAFAYETTE AVE
RIDGEFIELD, CT 06877

HEADER NOTES

- SEE HEADER SCHEDULE FOR HEADER SIZES.
- ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) 2x8 JACK STUDS AT EACH END.
- FLUSH FRAMED BEAMS ARE TO BEAR ONTO CORNER POSTS, SOLID OR SUILT-UP POSTS AS INDICATED ON THE DRAWINGS.
- WHERE (3) 2x HEADERS ARE INDICATED, INSTALL (2) 1/2" PLYWOOD SPACERS BETWEEN EACH MEMBER.

SHEET TITLE
PROPOSED ROOF & SECOND
FLOOR PLAN

WINDOW NOTES

- CONTRACTOR SHALL COORDINATE ALL ROUGH OPENING REQUIREMENTS FOR ALL WINDOWS WITH WINDOW MANUFACTURER. PRIOR TO FRAMING, CONTRACTOR SHALL COORDINATE ALL WINDOWS, WHERE GLASS IS LESS THAN 16" ABOVE FINISH FLOOR SAFETY GLASS SHALL BE PROVIDED.

SCALE: 1/4" = 1'-0"
DRAWN BY: EF
PROJECT #: 2022.271
SHEET #

WOOD HEADER SCHEDULE:

OPENING WIDTH	FLOOR	SIZE
UP TO 4'-1"	FIRST	(2) 2 X 10 OR (2) 1 1/2 X 7 LVL'S
4'-1" TO 6'-1"	FIRST	(2) 2 X 12 OR (2) 1 1/2 X 9 LVL'S
6'-1" TO 8'-1"	FIRST	(2) 1 1/2 X 11 LVL'S OR (2) 1 1/2 X 9 LVL'S
UP TO 4'-1"	SECOND	(2) 2 X 8 OR (2) 1 1/2 X 7 LVL'S
4'-1" TO 6'-1"	SECOND	(2) 2 X 12 OR (2) 1 1/2 X 9 LVL'S
6'-1" TO 8'-1"	SECOND	(2) 1 1/2 X 11 LVL'S OR (2) 1 1/2 X 9 LVL'S

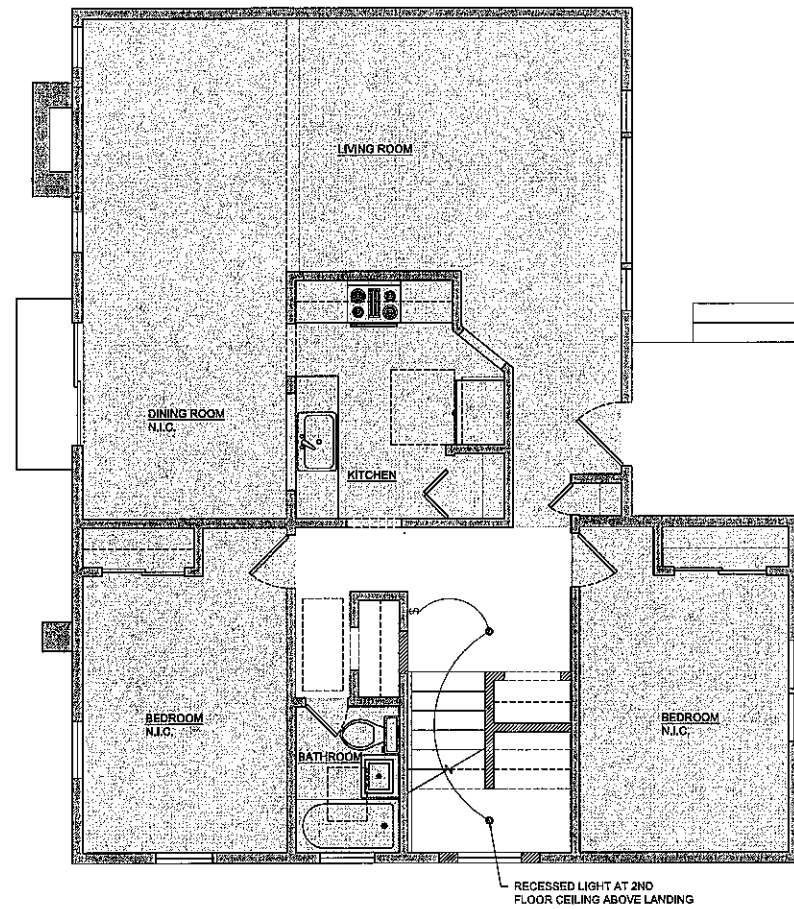
O.C. TO DETERMINE IN FIELD. AVAILABLE ROOM FOR HEADER, AS INDICATED PRIOR TO FRAMING ROUGH OPENING.
SEE FLOOR FOR HEADERS WITH SPANS GREATER THAN 8'-1" OR WITH LARGE POINT LOADS.

POST SCHEDULE:

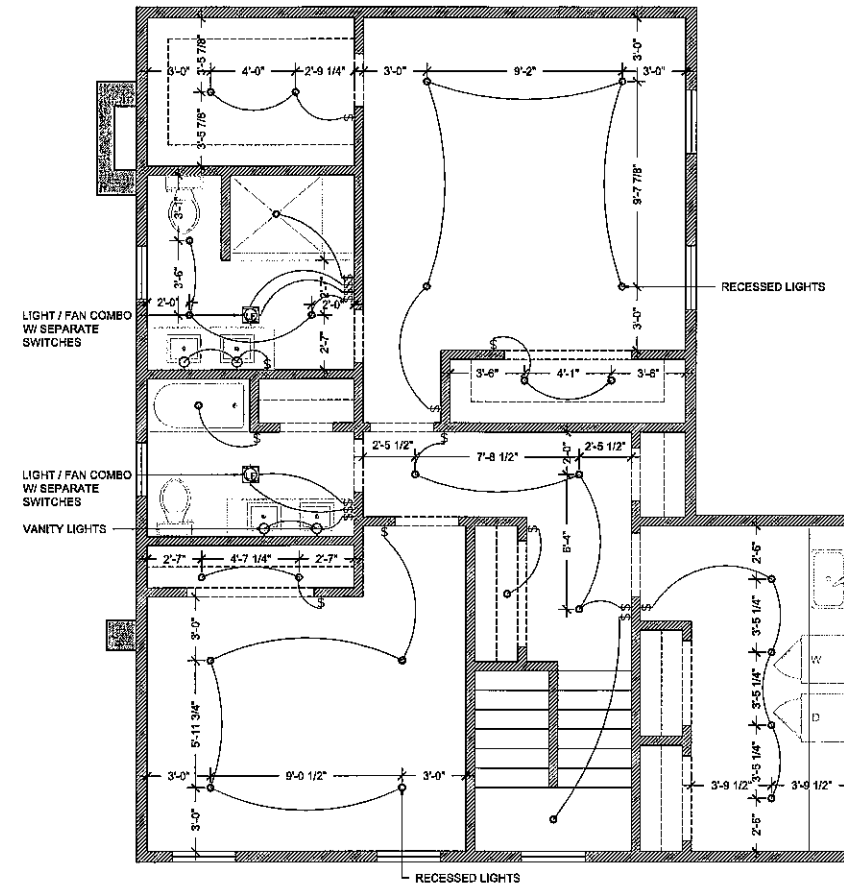
MARK	SIZE	TOP CONNECTION
P1	4x4 OR 3-2x6 OR 3-2x4	3 - SIMPSON "AS3" FRAMING ANCHORS
P2	4x6 OR 3-2x6 OR 4-2x4	3 - SIMPSON "AS3" FRAMING ANCHORS
P3	6x6 OR 4-2x6	4 - SIMPSON "AS3" FRAMING ANCHORS
P4	8"x4" PSL, 6x8 OR 6-2x6	4 - SIMPSON "AS3" FRAMING ANCHORS

PSL = PARALLAN BY TRUS JOISTS MACMILLAN POSTS SHALL REST ON GROUND, FOUNDATION OR APPROVED SOLID BLOCKING

A-1.01



1 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

DOCUMENT HISTORY		
REV#	DATE	PURPOSE
05.21.2022	05.21.2022	SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
07.14.2022	07.14.2022	DESIGN DEVELOPMENT SET ISSUED FOR CLIENT REVIEW

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMOLITION
- N.I.C. NOT IN CONTRACT

NOTE:
1. VERIFY ALL DIMENSIONS IN FIELD.
2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

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CERTIFICATE OF AUTHORIZATION

SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 0011578 NY: 033650

PROJECT:
6 LAFAYETTE AVE
RIDGEFIELD, CT 06877

SHEET TITLE
PROPOSED FIRST FLOOR &
SECOND FLOOR REFLECTED
CEILING PLAN

RCP NOTES




1. VERIFY ALL NEW LIGHTING LAYOUTS WITH OWNER PRIOR TO INSTALLATION.
2. COORDINATE PROPOSED RECESSED LIGHTING IN KITCHEN & LIVING ROOM WITH NEW TRY CEILING & UPPER KITCHEN CABINETS, V.I.F.
3. REPLACE ALL EXTERIOR SPOT LIGHTS WITH NEW FIXTURES, BY OWNER.
4. COORDINATE EXISTING & NEW SWITCHES IN FIELD. VERIFY LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

SCALE 1/4" = 1'-0"	DRAWN BY: EF	PROJECT # 2022.271
SHEET #		

A-1.10

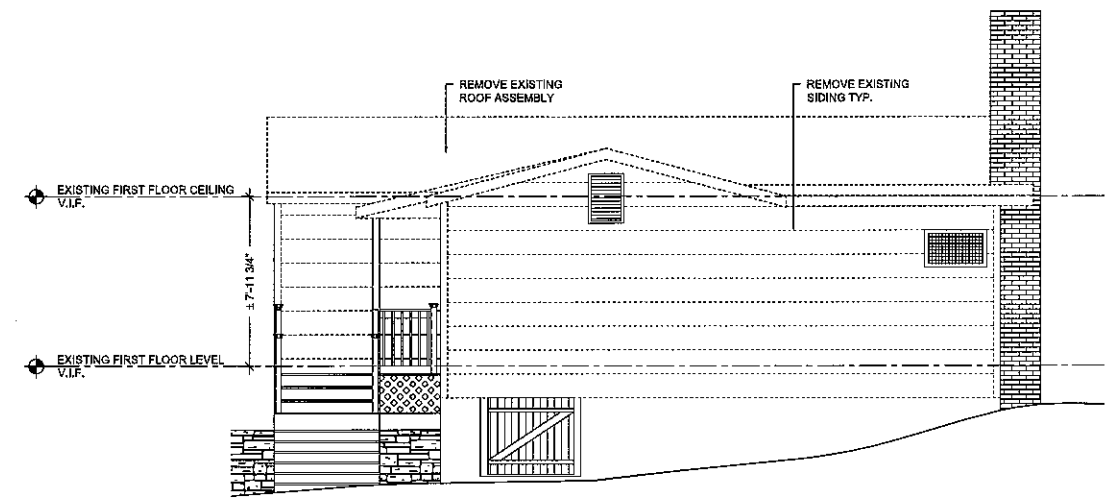
DOCUMENT HISTORY

REV#	DATE	PURPOSE
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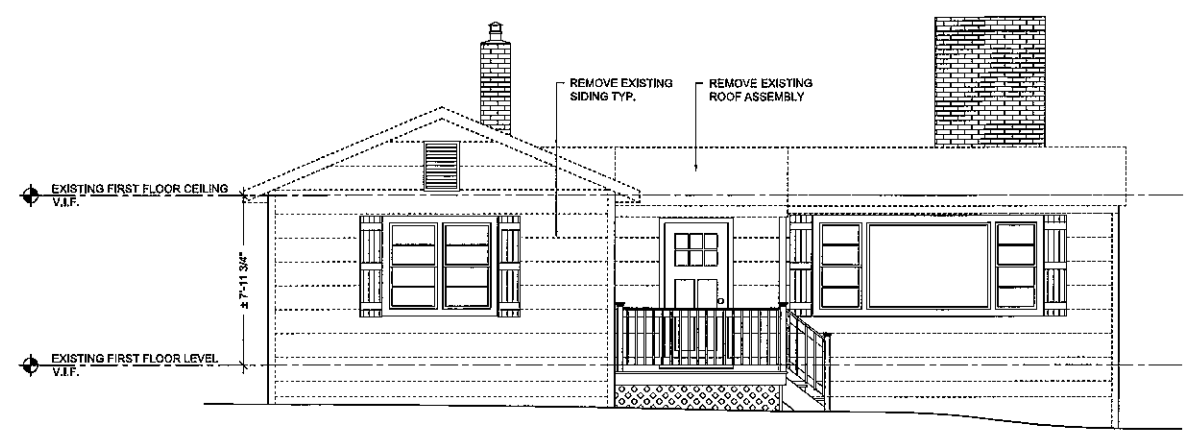
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION
	DEMOLITION
N.I.C.	NOT IN CONTRACT

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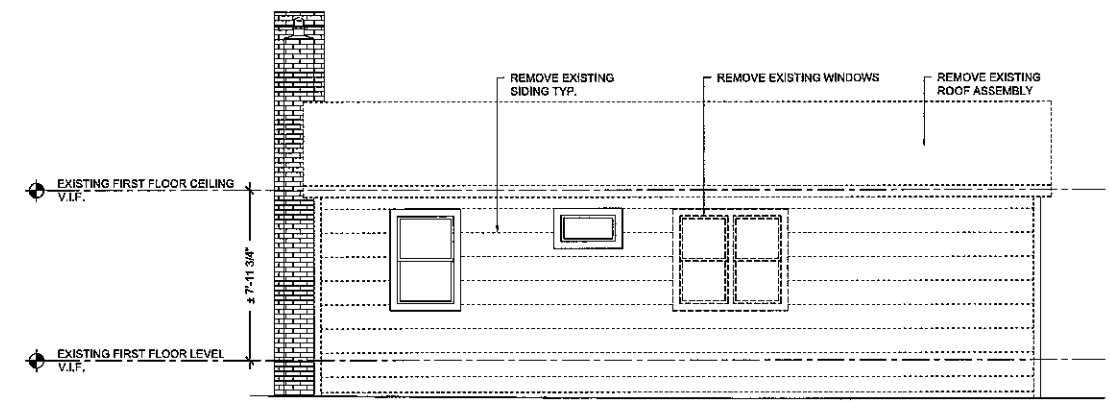
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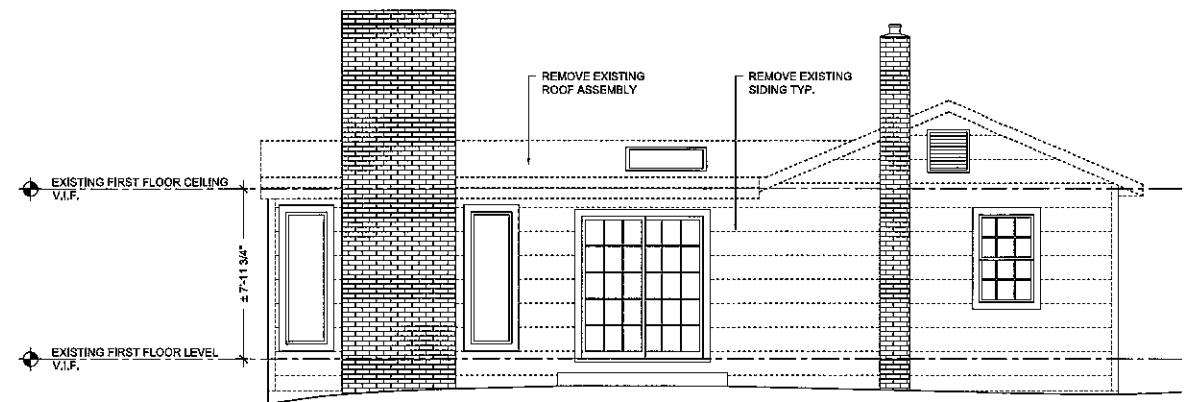
1 EXISTING NORTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2 EXISTING EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



3 EXISTING SOUTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



4 EXISTING WEST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

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CERTIFICATE OF AUTHORIZATION

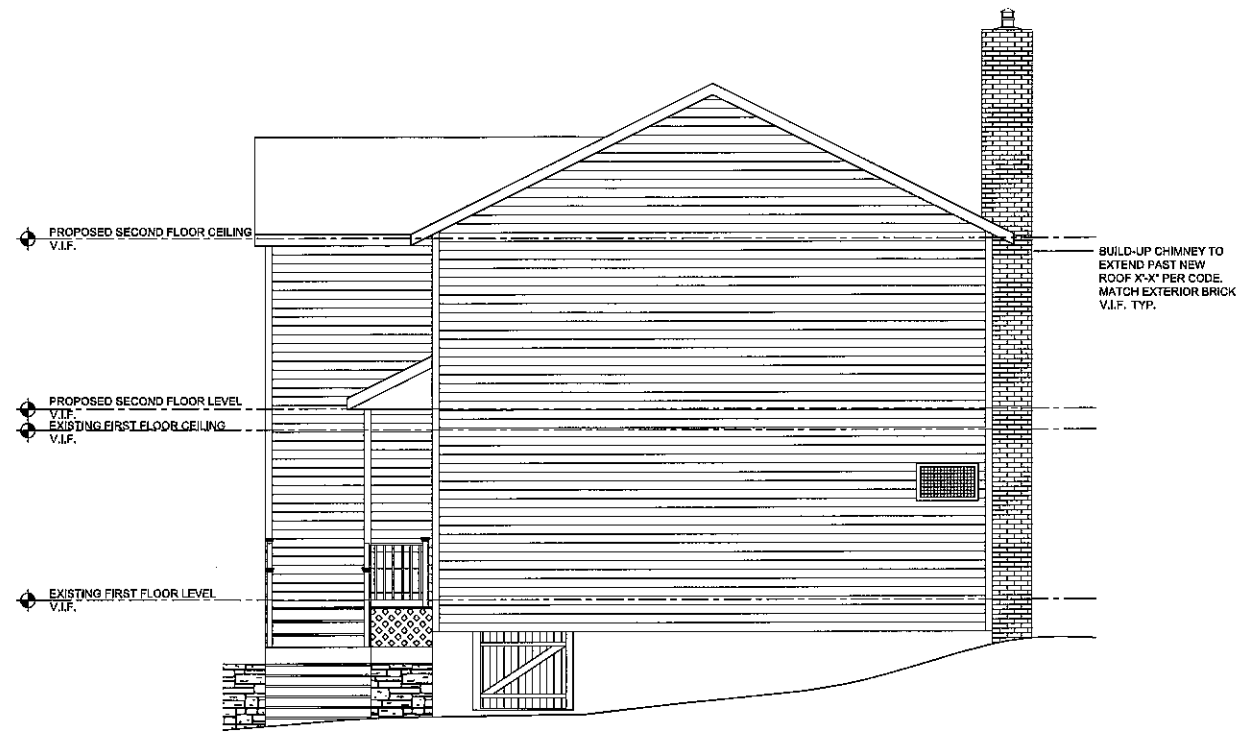
SIGNATURE + SEAL
 PROFESSIONAL LICENSE NUMBERS
 CT: 0911978 NY: 035560

PROJECT:
 8 LAFAYETTE AVE
 RIDGEFIELD, CT 06877

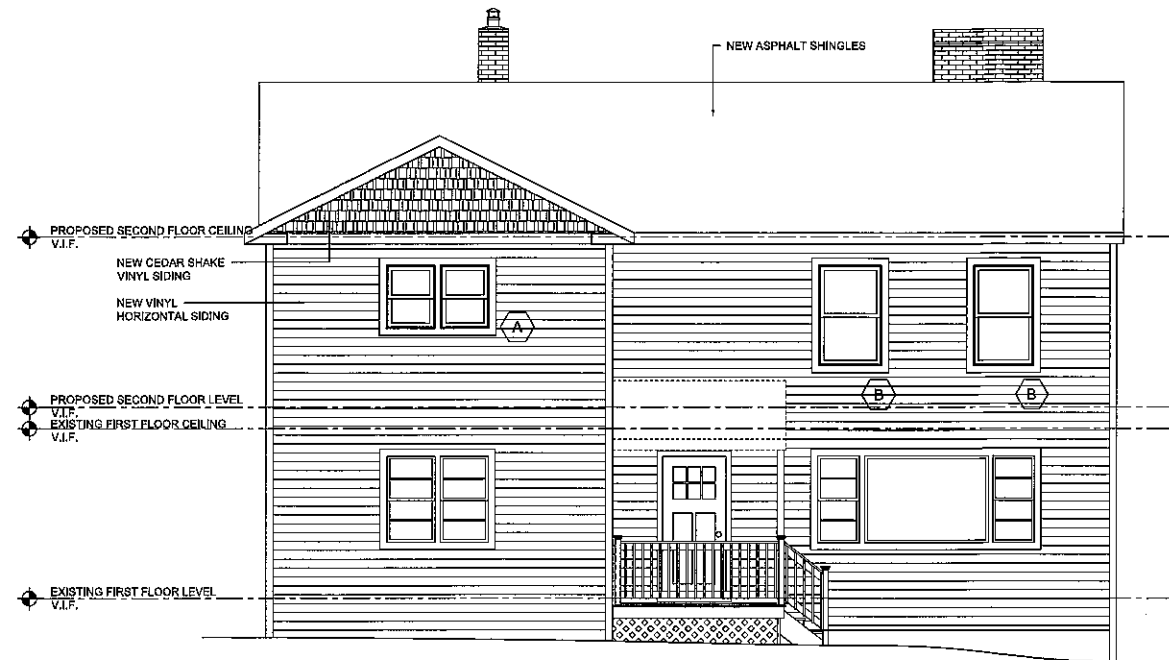
SHEET TITLE
 EXISTING EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0" DRAWN BY: EF PROJECT # 2022.211
 SHEET #

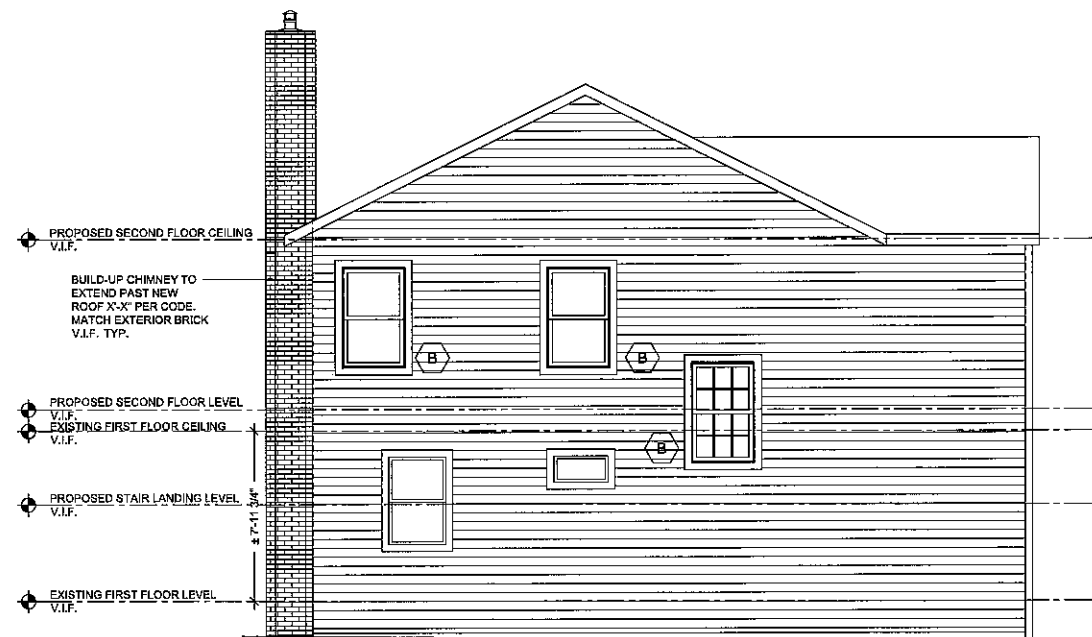
D-2.00



1 PROPOSED NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

DOCUMENT HISTORY		
REV#	DATE	PURPOSE
06.21.2022		SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
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	NEW CONSTRUCTION
	EXISTING CONSTRUCTION
	DEMOLITION
N.I.C.	NOT IN CONTRACT

NOTE:
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CERTIFICATE OF AUTHORIZATION

SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 0611876 NY: 033560

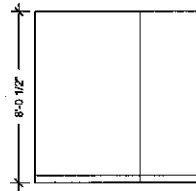
PROJECT:
6 LAFAYETTE AVE
RIDGEFIELD, CT 06877

SHEET TITLE
PROPOSED EXTERIOR
ELEVATIONS

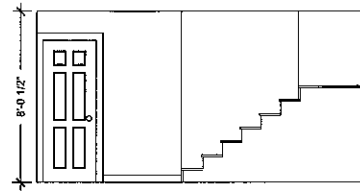
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DRAWN BY: EF
PROJECT #: 2022.071

SHEET #

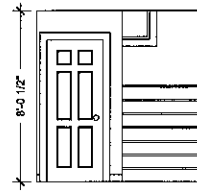
A-2.00



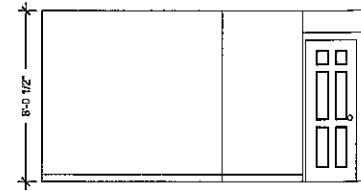
1 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



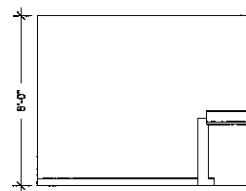
2 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



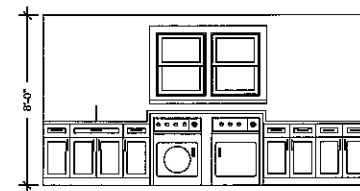
3 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



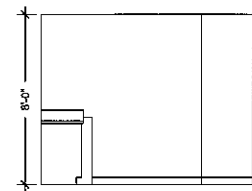
4 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



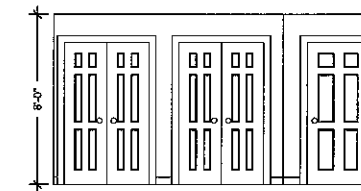
5 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [LAUNDRY ROOM]



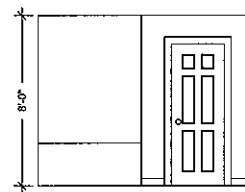
6 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [LAUNDRY ROOM]



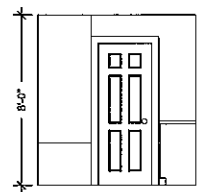
7 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [LAUNDRY ROOM]



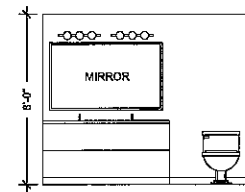
8 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [LAUNDRY ROOM]



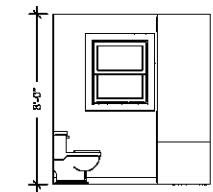
9 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [BATHROOM]



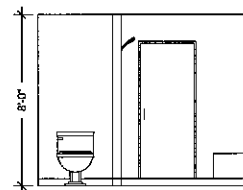
10 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [BATHROOM]



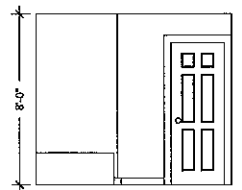
11 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [BATHROOM]



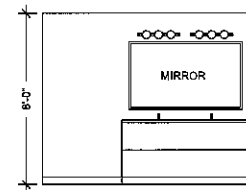
12 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [BATHROOM]



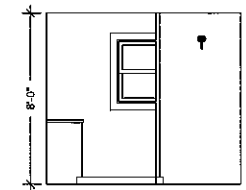
13 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [PRIMARY BATHROOM]



14 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [PRIMARY BATHROOM]



15 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [PRIMARY BATHROOM]



16 PROPOSED INTERIOR ELEVATION
SCALE: 1/4" = 1'-0" [PRIMARY BATHROOM]

DOCUMENT HISTORY		
REV#	DATE	PURPOSE
06.21.2022	06.21.2022	SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
07.14.2022	07.14.2022	DESIGN DEVELOPMENT SET ISSUED FOR CLIENT REVIEW

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMOLITION
- N.I.C. NOT IN CONTRACT

NOTE:
1. VERIFY ALL DIMENSIONS IN FIELD.
2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

PROGRESS PRINT
NOT FOR CONSTRUCTION

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CERTIFICATE OF AUTHORIZATION

SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 0611978 NY: 03356

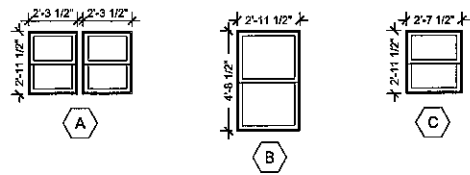
PROJECT:
6 LAFAYETTE AVE
RIDGEFIELD, CT 06877

SHEET TITLE
PROPOSED INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0" DRAWN BY: EF PROJECT # 2022.271
SHEET #

A-4.00

WINDOW TYPES



GENERAL WINDOW NOTES

- INTERIOR WINDOWS TO HAVE FLUSH GYPSUM RETURN, TYP. THROUGH-OUT
- COORDINATE FRAMES SIZES WITH SPECIFIED WINDOW SYSTEMS. TYPICAL FRAME AND MULLION SIZES TO MEET SELECTED MANUFACTURER.

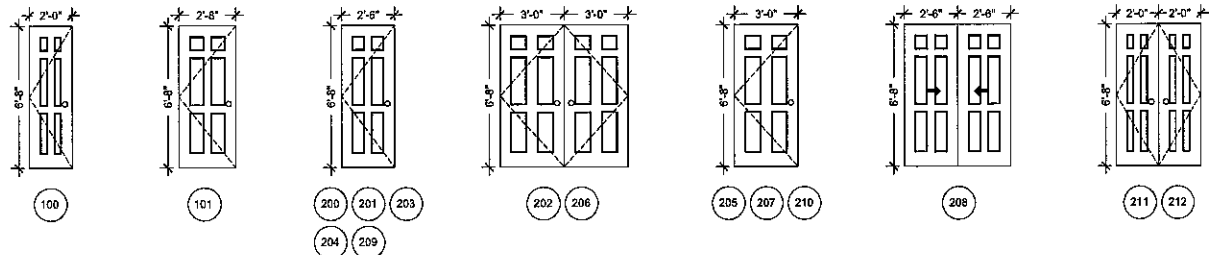
WINDOW SCHEDULE

	WINDOW TYPE	QUANTITY	MAKE/MODEL	SIZE	FINISH/COLOR	REMARKS
A	DOUBLE HUNG	2	ANDERSEN 200	(2) 2'-4\"/>		

DOCUMENT HISTORY

REV#	DATE	PURPOSE
06.24.2022		SCHEMATIC DESIGN SET ISSUED FOR CLIENT REVIEW
07.14.2022		DESIGN DEVELOPMENT SET ISSUED FOR CLIENT REVIEW

DOOR TYPES

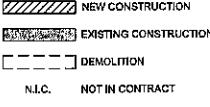


GENERAL DOOR NOTES

- COORDINATE DOOR HEAD HEIGHT WITH FINISH FLOOR.
- FINISH NOTES:
PT: PRIME AND PAINT, PAINT COLOR SELECTED BY OWNER
ST: STAIN, COLOR SELECTED BY OWNER
AL: PRE-FINISHED ALUMINUM, COLOR AS SELECTED FROM MANUFACTURER. FULL PRODUCT RANGE INCLUDING METALLICS AND MICA'S.
- DOOR TYPES, FINISHES, STAINS, COLORS, HARDWARE AND LOCKSETS BY OWNER.
- CASING TO BE

DOOR SCHEDULE

	DESCRIPTION	QUANTITY	MAKE/MODEL	SIZE	FINISH/COLOR	REMARKS
100	FIRST FLOOR CLOSET DOOR	1	BY OWNER	2'-0\"/>		



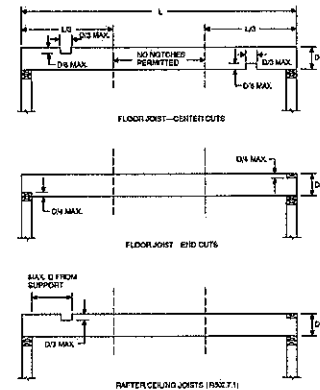
NOTE:
1. VERIFY ALL DIMENSIONS IN FIELD.
2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

PROGRESS PRINT
NOT FOR CONSTRUCTION

DETAILS

R502.8 DRILLING AND NOTCHING.

STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THIS SECTION. SEE FIGURE R502.8.



FOR SI: 1 INCH = 25.4 MM.

FIGURE R502.8 CUTTING, NOTCHING AND DRILLING

R502.8.1 SAWN LUMBER. NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4 INCHES (102 MM) OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2 INCHES (51 MM) TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2 INCHES (51 MM) TO THE NOTCH.

R502.8.2 ENGINEERED WOOD PRODUCTS. CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER BY A REGISTERED DESIGN PROFESSIONAL.

R602.6 DRILLING AND NOTCHING STUDS.

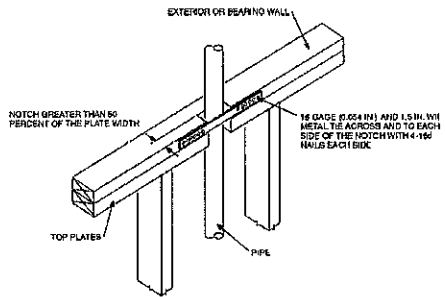
DRILLING AND NOTCHING OF STUDS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

- NOTCHING. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH.
- DRILLING. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 80 PERCENT OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH (16 MM) TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 60 PERCENT SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED. SEE FIGURES R602.6(1) AND R602.6(2). FOR BORED HOLES FOR ELECTRICAL WIRING, SEE TABLE E3702.1.

EXCEPTION: USE OF APPROVED STUD SHOES IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

R602.6.1 DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, A GALVANIZED METAL TIE OF NOT LESS THAN 0.054 INCH THICK (1.37 MM) (16 GA) AND 1-1/2 INCHES (38 MM) WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN FOUR 16D NAILS AT EACH SIDE OR EQUIVALENT. SEE FIGURE R602.6.1.

EXCEPTION: WHEN THE ENTIRE SIDE OF THE WALL WITH THE NOTCH OR CUT IS COVERED BY WOOD STRUCTURAL PANEL SHEATHING.



FOR SI: 1 INCH = 25.4 MM.

FIGURE R602.6.1 TOP PLATE FRAMING TO ACCOMMODATE PIPING

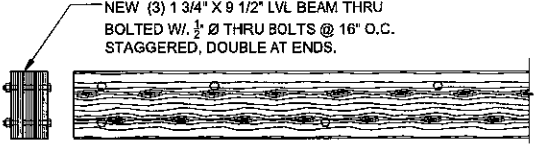
ROOF RAFTERS

RAFTER TO STUD STRAP SIMPSON MTS12 @ 48\"/>

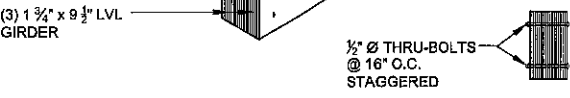
HEADER TO JACK STUD STRAP SIMPSON LSTA24 BOTH SIDES

HEADER TO JACK STUD STRAP SIMPSON LSTA24 BOTH SIDES

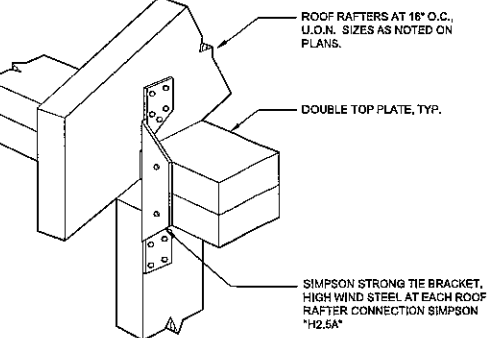
CONCRETE FNDTN



NOTE: AT TRIPLE AND QUADRUPLE BEAMS PROVIDE BOLTED CONNECTIONS WITH 1/2\"/>



3 PLACEMENT OF SCREWS AND BOLTS
SCALE: 1\"/>



4 HURRICANE TIE DETAIL
SCALE: 3/4\"/>

1 TYP. DRILLING & NOTCHING DETAIL
SCALE: 3/4\"/>

2 TYP. STRAP DETAIL
SCALE: 1/2\"/>

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CERTIFICATE OF AUTHORIZATION

SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 0011978 NY: 033500

PROJECT:
6 LAFAYETTE AVE
RIDGEFIELD, CT 06877

SHEET TITLE
WINDOW SCHEDULE, DOOR
SCHEDULE & DETAILS

SCALE: 1/4\"/>

A-5.00