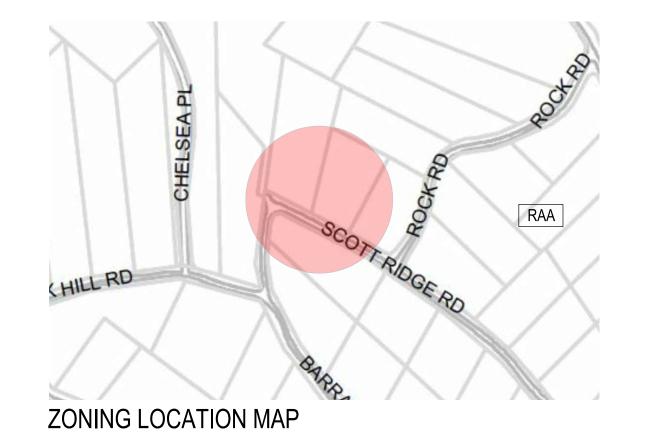
# Addition & Alterations to Existing Residence: ZULKESKI RESIDENCE

96 Scott Ridge Road - Ridgefield, CT 06877





RAA ZONING DISTRICT: 2-ACRE RESIDENTIAL



SATELLITE PHOTOGRAPH

N.T.S.

TABLE R301.2(1)  CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA										
GROUND <u>i</u>	WIND	SEISMIC		SUBJECT TO DAM	AGE FROM	1,2	WINTER	ICE SHIELD UNDERLAY—	FLOOD <b>h</b>	AIR FREEZING
SNOW LOAD	SPEED $^{ m e}$ (MPH)	HADÁSIGM O/V// CATEGORY	WEATHERING	FROST LINE DEPTH <b>b</b>	TERMITE C	DECAY d	DESIGN <b>f</b> TEMP <u>f</u>	MENT REQUIRED	HAZARDS	AIR FREEZING INDEX
30	115	С	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7 ° F 5750	YES	361227 9/07	618

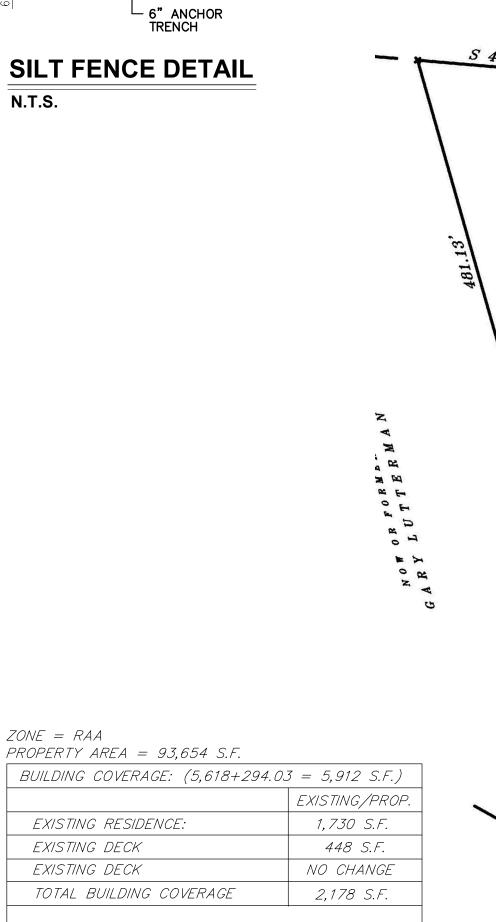
# **ENERGY CODE COMPLIANCE STATEMENT** In accordance with the International Energy Conservation Construction Code Published 2015

This subject property has been designed to conform to Building Envelope Requirements for Residential Applications

## **SEQUENCE OF CONSTRUCTION & EROSION CONTROL NOTES**

- **VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND OVERHEAD ELECTRIC WIRES PRIOR TO STARTING CONSTRUCTION. THIS** INCLUDES, BUT IS NOT NECESSARILY LIMITED TO SEPTIC SYSTEM, UNDERGROUND FUEL TANKS, UNDERGROUND WATER LINES, UNDERGROUND ELECTRICAL, ETC. EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE OR DISTURBANCE OF THESE ITEMS.
  - PROVIDE PORT-A-JON TOILET.
- SILT FENCE SHALL BE IN PLACE PRIOR TO THE START OF ANY **EARTHWORK AND SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.**
- SILT FENCES OTHER THAN THOSE SHOWN HEREON SHALL BE PROVIDED AS REQUIRED BY FIELD CONDITIONS OR AS DIRECTED BY
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH MAJOR STORM AND AT LEAST ONCE WEEKELY DURING THE CONSTRUCTION PERIOD TO INSURE THEIR PROPER OPERATION. ALL **EROSION CONTROL DEVICES SHALL BE CLEANED AND REPAIRED AS**
- AFTER CONSTRUCTION IS COMPLETED RESTORE AND REPLANT ALL DISTURBED AREAS WITH GRASS SEED AND MULCH TO STABILIZE.

YE GUO



- FILTER FABRIC

-6"X6" ANCHOR

BACKFILL

WOODEN POST

GROUND LINE ——— W/UNDISTURBED VEGETATION

SILT FENCE JOINT -SEE DETAIL ABOVE

FLOOR AREA RATIO: (8,464+3,92.	.04 8,725 S.F.)
	EXISTING/PROP.
EXISTING FIRST FLOOR:	1,272 S.F.
EXISTING SECOND FLOOR:	0 S.F.
PROPOSED FIRST FLOOR	440 S.F.
PROPOSED SECOND FLOOR	0 SF
TOTAL FAR	1,712 SF

YARD SETBACKS / HEIGHT (NO CHANGE)				
	REQ. / EXISTING / PROP.			
EXISTING FRONT YARD	35' / 68.7' / NO CHANGE			
SIDE YARD	35' / 22.1'* / NO CHANGE			
SIDE YARD	35' / 74.7'/ NO CHANGE			
REAR YARD	35' / 335' / NO CHANGE			
AVERAGE BUILDING HEIGHT	35' / 20.5' / NO CHANGE			
* EXISTING NON-CONFORMING				

- 2015 IRC AND UNIFORM 2017 CODE SUPPLEMENT WAS USED TO DESIGN THIS PROJECT.
- 2015 INTERNATIONAL ENERGY CODE WAS USED TO **DESIGN THIS PROJECT**
- PLACARD IS TO BE INSTALLED ON EXTERIOR WALL PER LOCATION APPROVED BY INSPECTOR.
- ALL CONDITIONS SET FORTH BY BOTH THE PLANNING AND ZONING BOARDS WILL BE COMPLIED WITH
- SITE PLAN, ZONING, AND COVERAGE INFORMATION TAKEN FROM SURVEY DATED AUGUST 28, 2020, PREPARED BY RKW LAND SURVEYING (ORIGINAL ATTACHED)

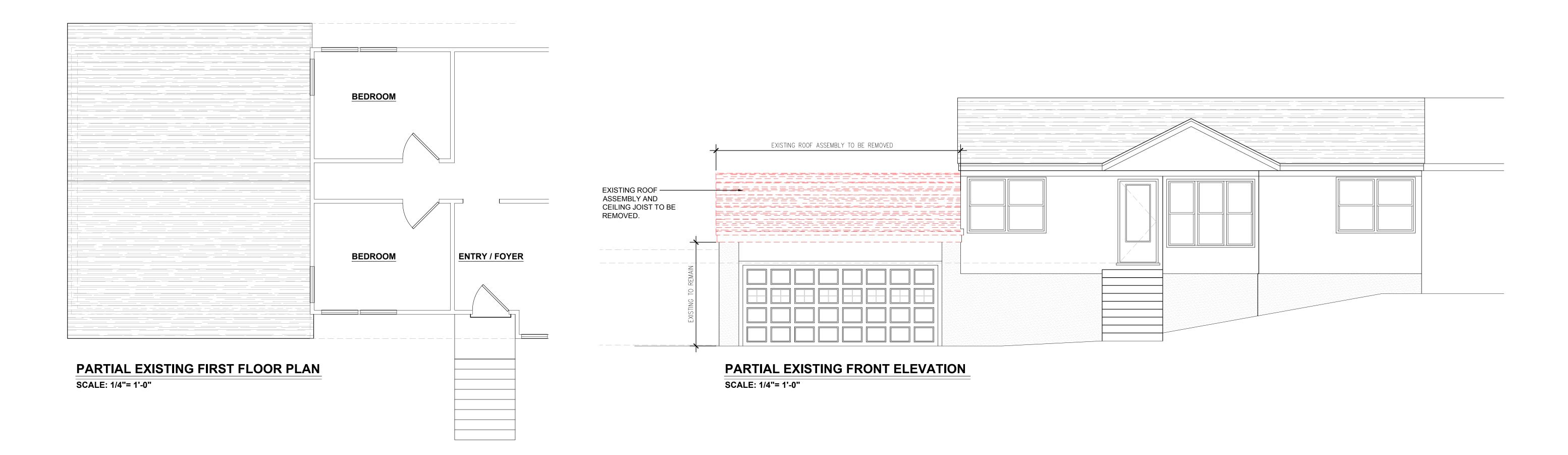
# SITE PLAN

SCALE: 1"= 40'

NO INCREASE IN BUILDING FOOTPRINT AND/OR COVERAGE ADDITION OVER EXISTING GARAGE - G.C. TO VERIFY FOOTING DEPTH (440 SF) - NO INCREASE IN BUILDING COVERAGE OR FOOTPRINT

# ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE FOR: **ZULKESKI RESIDENCE** 96 SCOTT RIDGE ROAD - RIDGEFIELD, CT 06877

SCALE:	NOTED	COVER & ZONING	SHT NO.	DWG NO:
DRN BY:	MSG	DATE: 9-14-20 REVISIONS	1 OF 4	











REFERENCE PHOTOGRAPHS

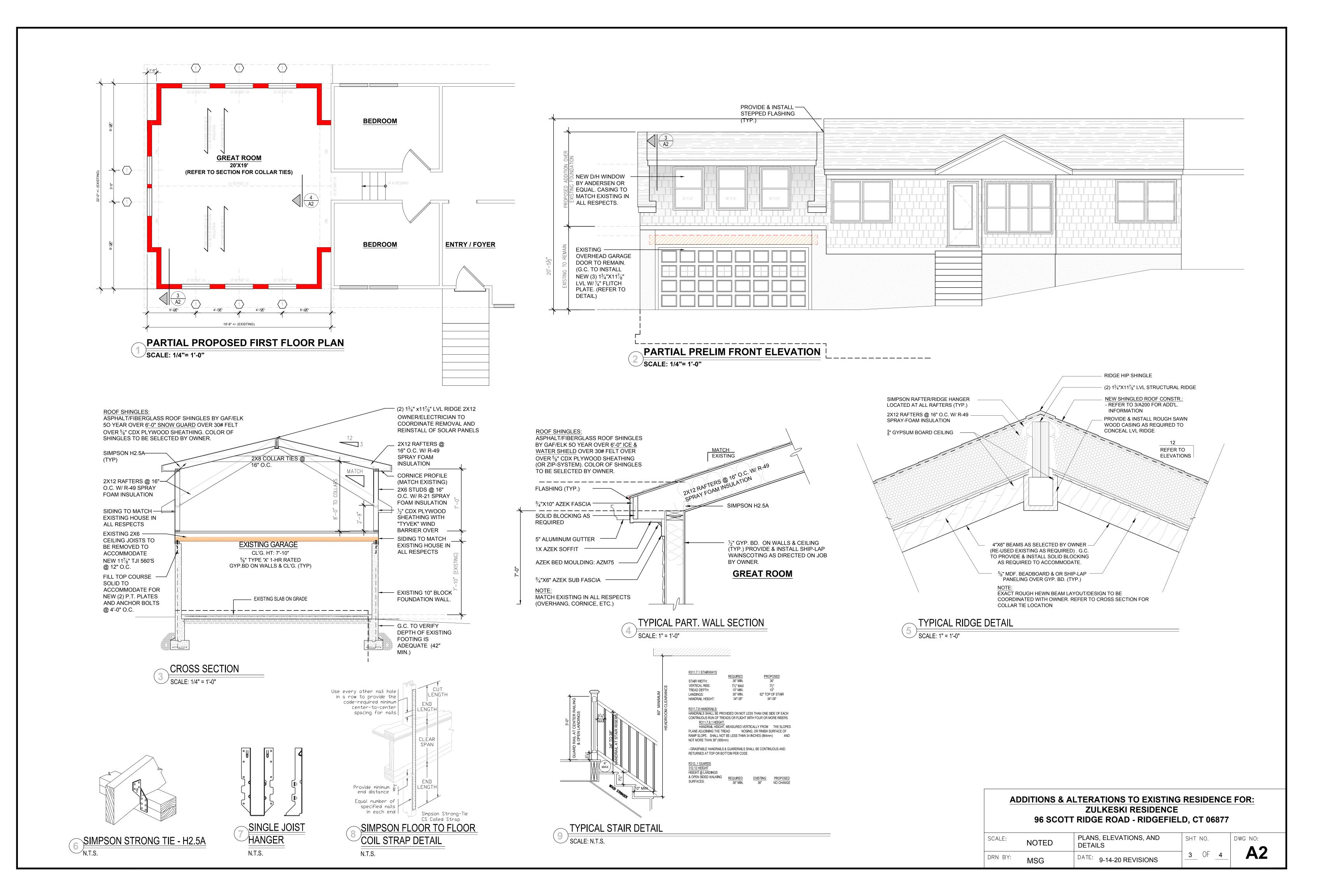
N.T.S.

ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE FOR:

ZULKESKI RESIDENCE

96 SCOTT RIDGE ROAD - RIDGEFIELD, CT 06877

SCALE:	NOTED	EXISTING CONDITIONS
DRN BY:	MSG	DATE: 9-14-20 REVISIONS



### GENERAL CONSTRUCTION SPECIFICATIONS

### **DIVISION 1 GENERAL REQUIREMENTS**

Provide all labor, materials and equipment required to complete all work shown on drawings and specifications as required for a fully complete job. All materials and workmanship shall be of best quality. The contractor shall, at his own expense, transport all labor and materials necessary or required for the proper execution of the contract.

### **CODE COMPLIANCE:** All work and materials shall comply with all applicable local and state codes.

The figures and dimensions on plans shall be taken in preference to measurements by scale, and when two drawings of the same part on different scales disagree, the preference shall be given to the drawings on the larger scale. In event of a discrepancy, notify the designer before proceeding with the work.

### **LAYING OUT THE WORK:** The contractor will lay out all work and will be held responsible for its correctness.

Submit to Owner / Designer for approval, shop drawings, details, samples, etc. for all items where requested herein. Shop drawings to be made from field dimensions and shall accurately fit all requirements of job conditions. Field dimensions shall take precedence over dimensions on drawings. Any discrepancy and conflict shall be reported to the designer/owner before materials are fabricated. Contractor shall be responsible for the proper coordination of the work with all other trades.

Shop Drawings to be submitted for approval including windows, doors, stairs, fireplace mantels, custom millwork, kitchen cabinetry / countertops / appliances, HVAC equipment and electrical fixtures as called for.

All materials or products shall be new and the best of their respective kinds in quality. All materials or products shall be installed in accordance with good standard practice and to the recommendation of the manufacturers of said materials or products.

### GENERAL SAFEGUARDS & PROTECTION OF THE WORK / PROPERTY:

Contractor must provide and maintain all necessary safeguards, take all the necessary precautions, and fully protect all persons and property from loss, damage or injury. Contractor is to be fully aware of CT State Dept. of Labor regulations and National Occupation Safety and Health Administration Codes and Regulations.

### **CLEAN-UP AND REMOVAL OF RUBBISH:**

The contractor shall, while the work progresses, keep the premises free from rubbish and from the undue accumulation of surplus materials. General Contractor shall provide dumpster for debris and locate same as directed on job by Owner. Dumpster shall be kept free from overflowing and shall be removed as soon as filled. Contractor shall keep premises inside and outside free of debris at all times. Contractor shall, upon completion of the work, remove all rubbish, inside and out, repair any damage done to the work, leaving the premises, equipment and fixtures clean and in perfect condition. All rooms to be broom swept and vacuumed clean. Entire house to be professionally cleaned at completion of job prior to Owner taking occupancy.

### **EQUIPMENT WARRANTIES AND OPERATING MANUALS:**

Upon completion of the work, Contractor must furnish Owner with all manufacturer's written warranties, installation instructions and operating manuals provided by manufacturer's of products and equipment specified herein.

### **DIVISION 2 - SITEWORK**

If an "As-Built" survey is required by Building Department, Owner shall make arrangements and pay for same. (no increase in building footprint)

Contractor must visit site and familiarize himself with existing grades and site conditions. Excavation shall include all work required for the construction of house, decks, covered porches, terraces, driveway, parking areas and related facilities such as trenching for drainage and utilities, water lines for well and undergrounelectric service, footing drains and underground leader drains including removing rock as required, as indicated on site plans, etc. Excavation, clearing and all backfilling around house as indicated on site plans. Clearing to include the complete removal off site of trees including stumps and brush from site as indicated on the Site Plan and as otherwise required to construct the house including driveway and parking areas. Excess

Excavation for all foundations, trench walls and piers shall be carried at least 3'- 6" below grade, and to solid ground, regardless of depths shown on drawings.

At unexcavated portions, all debris, such as stumps, roots, vegetation, and wood scraps occurring within the building area shall be removed from site. Safeguard from injury all existing trees which are to remain in contract limits and as directed on job by Owner. Refer to Site Plan.

The work under this section shall include all excavation of earth and shall also include excavation of solid rock under one cubic vard.

# contractor shall state in this proposal, unit prices for cost of rock blasting per cubic yard. For mass rock,

No backfilling shall be done until all footings, waterproofing and footing drains are inspected, photographed

Any blasting of rock as may be required shall be kept as an itemized extra cost to owner. The general

# and approved on job by Owner.

Contractor shall do all necessary backfilling to grades as indicated on plans and elevations. All backfilling shall be thoroughly tamped with power tampers in 12" lifts to avoid any settling. Foundation walls are dependent upon the completed installation of floors for their stability. Contractor shall not place back-fill until these elements are completely installed.

Contractor is to re-grade as required around entire house, garage, front covered porch, rear deck, etc. as indicated on the Site Plan and exterior elevations.

Contractor shall spread a 6" layer of topsoil around exterior of entire house and as otherwise required. All finish grading such as rough raking, etc. shall be under this contract, lawn seeding or sodding shall be awarded under separate contract by Owner at a later date. All grades for finished walks, etc. shall be established by this contractor. All run-of-bank gravel, washed gravel, fill, etc. where required, shall be furnished by this contractor.

# The contractor shall do all pumping and bailing as may be necessary in order to keep the excavation free from

### water during the progress of work. UNDERGROUND DRAINS:

Furnish and install 4" diameter perforated PVC plastic pipe Schedule 40 interior and exterior footing drains around perimeter of basement foundation. Exterior footing drains to run to infiltrators as indicated and detailed on site drawings. <u>Interior footing drains</u> are to be connected in separate pipe from exterior footing drains and are to also run infiltrators. The leader pipe drains should be sloped at a minimum pitch of 1/4 inch per foot. Refer to Site Plan.

the contractor would make his guarantee of a dry basement void.

Furnish and spread 6-inches of compacted NYS - Item 4 sub-base with 2-1/2 inch pavement binder course and 1-1/2 inch pavement top course for entire driveway including auto court / parking areas. Roll with six to ten (6 - 10) ton roller until firm and unyielding. (not applicable)

Contractor is to notify owner at time of construction if water conditions are encountered that in the opinion of

### **GENERAL REQUIREMENTS:**

nor any other organic materials

Footing design is based on the following conditions. Contractor shall field verify conditions on site and notify the Owner of any and all discrepancies.

Minimum 2000 PSF under all footings and slabs or to solid rock Bearing Capacity

Soil Types Footings, foundations, walls and slabs not be placed on marine clay, peat

Bottom of all footings shall extend 3' - 6" minimum below adjoining finish grade or greater as indicated on the drawings and shall rest on virgin soil. Where required, step footings in a ratio of two horizontal to one

Washed gravel back-fill shall be used against foundation walls with a perimeter drain tile system. Washed gravel backfill shall be wrapped in Mirafi Filter fabric. Gravel to extend 12" from foundation; see foundation

Balance of all foundation wall back-fill shall be clean, porous soil compacted in 8" layers to 95% proctor Compacted backfill below building slabs: Material to be free from organic material, trash, mulch, roots, logs,

stumps, concrete, asphalt or other deleterious material substances. Prior to placing fill, the existing surface shall be cleared of all refuse or organic materials.

# **DIVISION 3 - CONCRETE**

Under this heading, contractor shall supply all labor, equipment and materials required for the performance of concrete work and precast stone masonry work, all in accordance with drawings, details, site conditions, etc.

In general, no concrete shall be mixed or laid in freezing weather without the approval of engineer. All concrete shall be laid in one operation as far as possible. Footings shall be of stone concrete of 1:2:4 mix. Where soil conditions prevent sharp cut trenches for footings, planks shall be used for side forms. Concrete shall not be mixed or deposited at a freezing temperature unless special precautions acceptable by an

Engineer is taken. The use of an approved admixture as an antifreeze is permitted by following the manufacturer's specifications and recommended protection both during and after placing the concrete. Avoid use of materials with ice crystals or containing frost and provide means to prevent the concrete from freezing after being placed in position. The Contractor is responsible for all work and is to thoroughly examine all concrete work each day any freezing weather is encountered.

Contractor shall pour in place concrete foundation walls, sizes as shown on drawings and details. Refer to

All concrete is to have a minimum compressive strength of Fc' = 3500 PSI within 28 days. All concrete to be poured in accordance with ACI 301 Specifications (latest edition). Concrete exposed to weather is to be air entrained and have a minimum compressive strength of Fc' = 3500 PSI.

FOUNDATION WATERPROOFING: Provide and install TUFF-N-DRI or approved equal Rubberwall 10 year guarantee full waterproofing system with 2" (R-10) rigid drainage & insulation board as provided by foundation waterproofing subcontractor. (i.e. TUFF-N-DRI System with 1" WARM-N-DRI Drainage and Insulation Board). Mfg: Koch Materials Company, Installer; Dutchboy Waterproofing Systems, Brewster, NY. Tel. 845-279-5710

Provide 4" concrete slab with 6 x 6 W1.4 x W1.4 WWM poured over 6 mil polyethylene vapor barrier over 6" of washed gravel at garage areas; refer to foundation wall detail. Provide 2" concrete ground seal over 6 mil polyethylene vapor barrier over 6" washed gravel at crawl spaces. Provide 4" concrete slabs/curbs as required

for all mechanical equipment **CONCRETE SLAB AND FOOTING REQUIREMENTS:** 

Footings shall have minimum depth of 12" and shall be at least 12" wider than wall above and as detailed on

All reinforcing steel is to meet grade 60. Refer to sections and details for sizes of rebar.

Water used in mixing concrete shall be clean, potable water, free from oils, acids, alkalis, organize materials or other foreign substances.

Except as otherwise specified, forms shall be of wood, plywood or metal and in first class condition. Forms shall be constructed to conform to shapes, forms, lines and grades required and shall be maintained sufficiently rigid to prevent deformation under load. Joints shall be leak proof. Where concrete is exposed, surfaces shall be free from fins and similar defects. Provisions for all openings, sleeves etc. shall be provided.

### **DIVISION 4 - MASONRY**

Provide sleeves as required for all utilities, etc. and provide waterproof sealant.

Provide and set 1/2" x 18" angled-end threaded anchor bolts in top of foundations at approximately 6' - 0" on center and at all corners. Bolts shall project 5" above top of concrete foundations in order to receive double sill plate. Provide anchor bolts at all locations as indicated on details.

Reinforcement shall be fabricated to shapes and dimensions shown and shall be placed where indicated on the drawings or required to carry out the intent of drawings and specifications. Reinforcement shall be thoroughly cleaned of rust or any other coating prior to setting.

LP/Gas fireplaces as selected by owner & installed per manufacture guidelines and building code.

FIELDSTONE / STONE WORK: The Contractor shall include all stone required ) Provide stone veneer where indicated with dovetail anchor

**DIVISION 5 - METALS** 

**MISCELLANEOUS WORK:** This contractor is to furnish all material and labor for all platforms, steps, walls, retaining walls, terraces, etc. as indicated and called for on plans.

# Scope of work includes all structural steel and miscellaneous components as indicated and detailed on drawings and in these Specifications, including all components required for a complete installation.

sible for the approved size and location of all openings through roofs, floors and walls as may be applicable. Material: ASTM A-36 for structural steel. Steel construction and materials shall conform to AISC manual of

steel construction, latest edition, and shall be fabricated and installed in accordance with AISC code of

Shop and field connections shall be welded or bolted with high strength bolts conforming to ASTM A-325, friction type, 3/4" diameter minimum size unless otherwise noted on drawings. Bolted joints to be bearing type utilizing hand-tightening method. All welding shall comply with the Standard Code for Arc and Gas Welding in Building Construction of the American Welding Society. Minimum weld shall be 1/4 inch. Steel beam to sit on masonry piers or 4" diameter steel columns as indicated and detailed on the drawings. Steel Columns shall be 4" diameter IPS schedule 40 steel pipe column with 1/2" welded cap and base plates at top and bottom. Provide and install all necessary leveling plates, anchor bolts, bearing plates, etc. as indicated on Plans and as required for a complete job. All steel shall be shop painted with gray zinc chromatic primer 2.0

# Loose Lintels: Provided lintels as required at all openings.

MISCELLANEOUS METALS:

All required steel anchors, straps, and joist hangers shall be constructed of code approved galvanized steel. Provide and install hurricane ties as manufactured by Simpson at each rafter / plate location. Refer to Drawing #16 for Simpson Hanger / Connection Details.

### **DIVISION 6 - WOOD AND PLASTICS CARPENTRY:**

# MATERIAL AND WORKMANSHIP:

This contractor shall supply all materials and implements necessary to the completion of all rough and finish carpentry work. Workmanship shall be of the best and all work shall be in strict accordance with the plans, specifications and details. **ALLOWABLE DESIGN STRESSES:** 

1. All repetitive structural wood members except headers shall have structural specification equivalent or better than the following minimum properties.

1,400,000 psi 2. All structural posts shall have the following minimum properties:

1,600,000 psi E min. 3. All beams, headers and flitch beams shall be of constructed of Douglas fir #1 having the following properties Fb min.

1,800,000 psi E min. 4. All microllam LVL's shall the following properties: Fb min. 1,900,000 psi

All lintels over all framed openings to be as shown below unless noted otherwise. Refer to Wood Header Schedule on Drawings:

(2) 2 x 8 for opngs. up to 3'-6" (3) 2 x 8 for opngs. up to 4'-6" (3) 2 x 10 for opngs. up to 5'-6" (2) 2 x 10 for opngs. up to 4'-6" (3) 2 x 12 for opngs. up to 6'-6" (2) 2 x 12 for opngs. up to 6'-0"

TIMBER AND SHEATHING: Timber throughout shall be sized, square, and full through the dimensions called for and shall be free from large and loose knots, sap, and other imperfections. All floor beams, girders, rafters, studs, etc. shall be of #1 Douglas Fir (stamped structural grade). All ridges and valleys to be Microlams - LVL's as called for on drawings. Sub-flooring shall be 3/4" Tongue & Groove, glued and screwed down. Wall sheathing shall be not less than 1/2" CDX plywood exterior grade. Roof sheathing shall be 5/8" CDX plywood. Refer to wall details including cornice details and roof specifications.

All attic spaces shall receive 3/4" Tongue & Groove, glued and screwed down CDX plywood subfloor. All structural wood exposed to outside unprotected or bearing directly on concrete, or within 6" of finish grade shall be pressure treated with approved materials to resist decay and infestation by termites and moisture. Provide copper type termite shield at all exterior sills.

(Floor joists at first and second floor levels shall be 11-7/8" TJI / Pro-560's Truss Joists Spaced as indicated on floor plans.. Floor joists shall be doubled under all partitions, which run parallel to the floor joists. Double up all joists and header off as required withe LVL's at all floor penetrations (stairs locations) as illustrated and noted on drawings. Provide & Install all necessary joist hangers By "Simpson" as illustrated and detailed and drawings. Use all other anchoring devices as called for on drawings. Use Z-MAX type connectors at all exterior locations. No studs shall be cut more than half its depth to receive plumbing.

### **CUTTING & NOTCHING:** Holes bored in bearing wall studs shall not exceed 1/3 of stud width.

Cutting and notching of floor joists shall conform to the following or if manufactured members, as per the manufacturer's printed specifications.

Notch depth in the top or bottom of the joists and beams shall not exceed 1/6th the depth of the members and shall not be located in the middle 1/3rd on the span (including birds mouth cuts). Notch depths at the ends of the member shall not exceed one-fourth the depth of the member.

The tension side of beams, joists and rafters of four inches or greater nominal thickness shall not be notched, except at the ends. Bored holes through joist or beams shall be drilled in center of joist or beams and not less than 2"

from top or bottom of same. DO NOT cut or notch flange of 11-7/8" TJI / Pro-560. Refer to

Hole Charts on drawings - round, square & rectangular holes. DO NOT cut, notch or drill

## holes in Microllam LVL except as indicated in table chart on drawings. Wood stud walls shall be built up of 2" x 6" studs spaced not more than 16" O.C. All corners to be built up to

2" x 6" studs with full thick fiberglass batt insulation as these areas will be inaccessible to insulating subcontractor. Exterior walls to be bridged with 2" solid bridging at mid-height of studs (staggered). All windows and door openings shall have study doubled on jambs. The inner stud shall be cut to receive the lintel or header over the opening and shall extend continuous from top plate to floor. On all openings 6'-0" or more, double jack studs are required allowing lintel to bear on both studs. Lintels or headers over all openings shall be doubled and shall set on edge.

Sills shall be two (2) 2" x 6" pressure treated (see details) with all joints and corners halved and securely spiked. Sills shall be level, shimmed up with chips and thoroughly bedded in cement mortar.

Sills to be anchored to foundation below as detailed on the drawings. Set sills on sill seal insulation, typical, with an copper termite shield. Top plates shall be not less than 2" x 6"'s doubled and shall lap at corners. Cut the top member of the plate at all intersecting partitions to permit partition plate to lap and tie to exterior wall plate. All such laps shall be double spiked. The top end of each stud in gable ends shall be double nailed to the rake rafters. Carpenter to supply and install rough hardware to include nails, screws, building paper, anchor bolts, etc. and to be furnished and installed by this contractor.

Interior partitions shall be 2" x 4" at 16" O.C. or as noted on plans. Bearing partitions shall be set the 4" way and shall be bridged with 2" solid bridging between the studs. All openings shall have jambs and head doubled as for exterior openings. All walls over 8'-0" high shall be bridged as noted above.

Build all stairs as shown on plans and details. Execute in accordance with detail drawings. All joining and assembling to be in accordance with best woodwork shop practices. All Stairs shall be constructed to conform to all clearance in height and width regulations.

All millwork to be first grade workmanship. Machine sand exposed surfaces to even, smooth surface ready for finishing. Join mill assemblies with concealed dowels and glued blocks where practical. Exposed screws and nails countersunk and plugged; scribing, mitering and joints, accurate and neat to conform to details. Miter casing at mill and secure against separating by means or patented metal fasteners to make joints permanent. Field dimensions for millwork shall take precedence over dimensions on drawings. Any discrepancy or conflict shall be reported to the Owner before materials are fabricated, be responsible for the proper attachment of cabinet work to the work of other trades.

All exterior trim shall be AZEK Trimboards &/Or Boral. Shapes and sizes to conform to details as shown on drawings. Refer to AZEK Installation Guidelines on Drawings. MATCH EXISTING IN ALL RESPECTS

Match existing in all respects. **Installed per manufacturer guidelines. DIVISION 7 - THERMAL & MOISTURE PROTECTION** 

**Termite Shields:** Set sills on sill seal insulation over copper termite shield.

FULLY ADHERED BUTYL WATERPROOF MEMBRANE AT INSIDE FACE OF STEPPED **FOUNDATION CURB:** Provide and install fully adhered butyl waterproof membrane as manufactured by Carlisle or approved equal at stepped foundation walls along perimeter of house to provide a moisture barrier between the concrete and wood framing. Refer to details on drawings.

Provide and install TUFF-N-DRI or approved equal Rubberwall 10 year guarantee full waterproofing system with 1" (R-5) rigid drainage & insulation board as provided by foundation waterproofing subcontractor. (i.e. TUFF-N-DRI System with 1" WARM-N-DRI Drainage and Insulation Board). Mfg: Koch Materials Company. Installer: Dutchboy Waterproofing Systems, Brewster, NY. Tel. 845-279-5710.

Provide exterior and interior sealant around all doors, windows, and other openings including but not limited to joints between head, jambs and sills of all exterior windows and door frames, louver frames and block or other abutting construction, for a water tight condition. Sealant shall be gun grade gum consistency with

Provide two (2) rolls wide of 36" wide strip of self-sealing "Winter-Guard" or equal, membrane at all roof eaves, valleys and at cricket adjacent to main chimney. Installation to be in accordance with manufacturer's recommendations. Provide full height at front covered porch and all locations where roof pitch is

# **CHIMNEY FLASHING:**

Chimney shall be flashed with 20 oz. soft copper. Furnish and install in conformance to standard practices. Copper Through-Pan Chimney Flashing shall be provided and install at chimney directly above roof level and stepped between stone veneer and 8" high concrete back-up block. Refer to details on drawing. Solder all joints for a watertight condition prior to masons continuing with concrete block and stone veneer. All nails, rivets, etc. shall be non-staining copper.

VALLEY FLASHING:
Valley flashing shall be flashed with 16 oz. soft copper to be 20" wide minimum; provide expansion joints at all continuous flashing of 8' - 0" or longer. Provide inverted "V" at center of valleys to prevent water from flowing upward onto opposite side of valley.

# Flashings for valleys, cheeks, sills, chimney and at junction of all vertical surfaces with roof surfaces and wherever else it is necessary to make a watertight job, shall be flashed with 16 oz. soft copper. All nails, rivets, etc. to be non staining copper. Valley flashing to be 20" wide minimum; provide expansion joints at all

continuous flashing 8'-0" or longer. Where plans and details call for copper flashing, contractor is to furnish and install same in conformance to standard practices. Contractor is to pan flash chimney through and up into flue lining to insure a watertight

separate from exterior masonry to interior masonry. All window and door head flashing to be aluminum. All pipes passing through roof shall be flashed and counter flashed. Base flashings shall be extended out on the roof not less than 6". Provide and install copper boots at pipe / roof locations.

**WALL FLASHINGS:** Wall flashings shall be "through" flashings installed so as to provide complete cut-off for moisture and seepage. Flashing shall be carried beyond ends of lintels.

Provide / install Seamless Aluminum heavy gauge gutters on entire house. Provide all necessary leader drains & underground piping as required to direct water to proposed infiltrators as illustrated on site drawings.

Provide and install 2" continuous aluminum soffit vents at all soffit areas. Soffit vents can be eliminated if owner selects to use Spray Foam Insulation ASPHALT / FIBERGLASS ROOF SHINGLES:

Furnish and install fiberglass / asphalt roof shingles as manufactured by GAF and/or CERTAINTEED, Manufacturer and color of roof shingle as selected by Owner. Provide and install the following:

5/8" CDX exterior grade plywood sheathing over roof rafters as detailed on drawings.

Provide and install copper drip edge at edge of roof eaves prior to installing roof shingles. Full Height "Winter-Guard" membrane at all roof eaves including valleys. Also, include 30# felt paper over

All copper flashings, step flashings, etc., must be coordinated with roofer and sheet metal contractor.

Provide and install "shingle-over" type, slim-line polypropylene ridge vents. Install in accordance with manufacturer's recommendations. Ridge Vent can be eliminated if owner selects to use Spray Foam

Insulation shall be installed in all locations called for on plans, details, etc. All exterior walls shall be insulated with 6" (R-19), fiberglass batt insulation with vapor barrier. Both First and Second Floor joists shall be insulated with 9" (R-30) batt insulation as indicated on the drawings. Second floor ceiling / attic floor joists shall be insulated with 10" (R-38C/HP) batt insulation as indicated on the drawings. Wire insulation up in place as required. Provide and install fiberglass mesh at all unfinished basement ceilings. Provide and install continuous insulated baffle vents at all insulated roof eaves. All spaces around windows and door openings on exterior walls to be tightly insulated and caulked. Refer to notes and details on drawings.

The perimeter of all bathroom walls and laundry room walls shall be insulated with 3" un-faced thermal fiber sound attenuation fire blankets for sound deafening by ROXUL or approved equal. **DIVISION 8 - DOORS AND WINDOWS** 

### **WEATHER-STRIPPING:**

All windows shall be equipped with weather-stripping. **EXTERIOR WOOD DOORS:** 

All exterior doors including shall be manufactured by Simpson. Refer to exterior elevations and floors plans for overall dimensions and configurations.

### **INTERIOR DOORS:**

To be solid core Masonite (smooth finish), door size as indicated on drawings.

ANDERSEN WINDOWS Windows to be insulating glass with simulated divided lites (SDL) complete with spacer bars, 7/8" wide pine bars with northern low 'E' with argon, and full screens, (frame finish - white aluminum). Muntin layout to be as indicated on the exterior elevation drawings. Interior of all window units to be factory primed. Provide continuous exterior sills as required for multiple units. Provide white jamb liners. Window hardware finish to be antique brass, satin nickel and/or white, as selected on job by Owner. Exterior Azek casing to be 5/4" x 4" flat casing, jamb width to be 6-9/16" to allow for 1/2" thick gypsum board. Contractor to include building all window stools - 5/4" x VIF as indicated on drawings. Windows to be ordered prepped for stools.

GARAGE DOORS (OVERHEAD CARRIAGE HOUSE DESIGN): Garage doors to be 8'-0" wide by 7'-0" high, as selected by Owner.

All finishes shall be as indicated in the Finish Schedule on drawings, and as further clarified within the Specifications. Refer to Interior Finish Schedules on Drawings.

Finish wood floors as selected by Owner. By "Carlisle" or approved equal.

All interior walls and ceilings where called for shall be 1/2" gypsum board. All bathroom locations shall have 1/2" MRT gypboard on walls and ceiling. Providing blocking as rquired (12" minimum spacing) @ ceiling in

All work shall be cleaned, joints smooth and full, and protected with paper until acceptance of job by owner. Remove all surplus grouting from tile, leave surfaces clean, all joints smooth and full. Close off spaces to

traffic until tile work is set. Prior to final acceptance remove protection, clean and point as necessary.

### Floors shall be laid in a mortar bed approximately 3/4" - 1" thick mud application complete with galvanized wire lath and building paper acting as a reinforced cleavage membrane, with an epoxy 1/8" - 3/8" thick to

receive ceramic tile and/or marble. All tile and/or marble shall be firmly secured. Joint lines shall be kept straight and true. Broken or chipped pieces shall be replaced. Labor included in Bid and based on standard tile & standard pattern.

**INSTALLATION ALTERNATE:** Tile to be laid over 1/2" thick plywood underlayment and/or 1/2" thick cement board glued and screwed down at 6" on center each way, with 1/8" spaces between sheets, over 15# felt over 3/4" Tongue & Groove thick plywood subfloor. However, this installation method to be only executed upon approval by owner Grouting

### shall be in color selected and approved by owner. **EXTERIOR PAINTING / STAINING:**

Not to be included in Lump Sum Base Bid / Contract. Interior Painting to be awarded under separate contract:
Not to be included in Lump Sum Base Bid / Contract.

**DIVISION 10 - SPECIALTIES** 

**DIVISION 11 - EQUIPMENT** 

**DIVISION 12 - FURNISHINGS** NOT APPLICABLE TO THIS PROJECT.

**DIVISION 13 - SPECIAL CONSTRUCTION** NOT APPLICABLE TO THIS PROJECT.

**DIVISION 14 - CONVEYING SYSTEMS** NOT APPLICABLE TO THIS PROJECT.

**DIVISION 15 - MECHANICAL** 

GC to verify existing conditions. Tie-in to existing systems. Installed per local and stat code

# **HEATING & AIR CONDITIONING:**

System as selected by owner. Mini-Split Heat pump as selected by owner. Location as directed on job by owner.

# WINTER CONDITIONS

Design parameters: When outside conditions are: 0 F and 15 mph wind

### Inside temperature must be maintained at: 75 F **SUMMER CONDITIONS**

Design parameters: When outside conditions are: 91 F Dry bulb and 77 F wet bulb Inside temperature must be maintained at: 75 F & 50% Relative Humidity

hood, yet labor to install shall be by Contractor, including all ductwork connections.

utility company servicing this location and National Board Office Of Underwriters.

# **Scope of work:** Provide and install all necessary galvanized metal ductwork for kitchen exhaust hood.

Provide Code compliant high & low combustion air ventilation for the new gas-fired boiler located in basement area as per IRC. Coordinate with Masonry trade for opening locations in foundation walls. Provide all necessary ductwork along with exterior rodent-proof exhaust damper for new kitchen exhaust

hood. Coordinate location of exhaust duct with Designer and Owner on job. Owner will provide kitchen

# **DIVISION 16 - ELECTRICAL**

Refer to electrical drawings for details and specifications.

# **Use National Electrical Code NFPA 70.**

It is the intention of this specification and the accompanying drawings to describe the work for furnishing, installation and connecting of all complete electric system all in accordance with the requirements of the

At completion of job, Electrical Contractor shall submit complete circuit diagram typewritten schedule identifying all outlets, fixtures, etc. for entire residence as indicated on drawings.

# **ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE FOR:** ZULKESKI RESIDENCE

96 SCOTT RIDGE ROAD - RIDGEFIELD, CT 06877

SPECIFICATIONS SCALE: NOTED DRN BY:

MSG

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SHT NO. DWG NO: 9-14-20 REVISIONS

