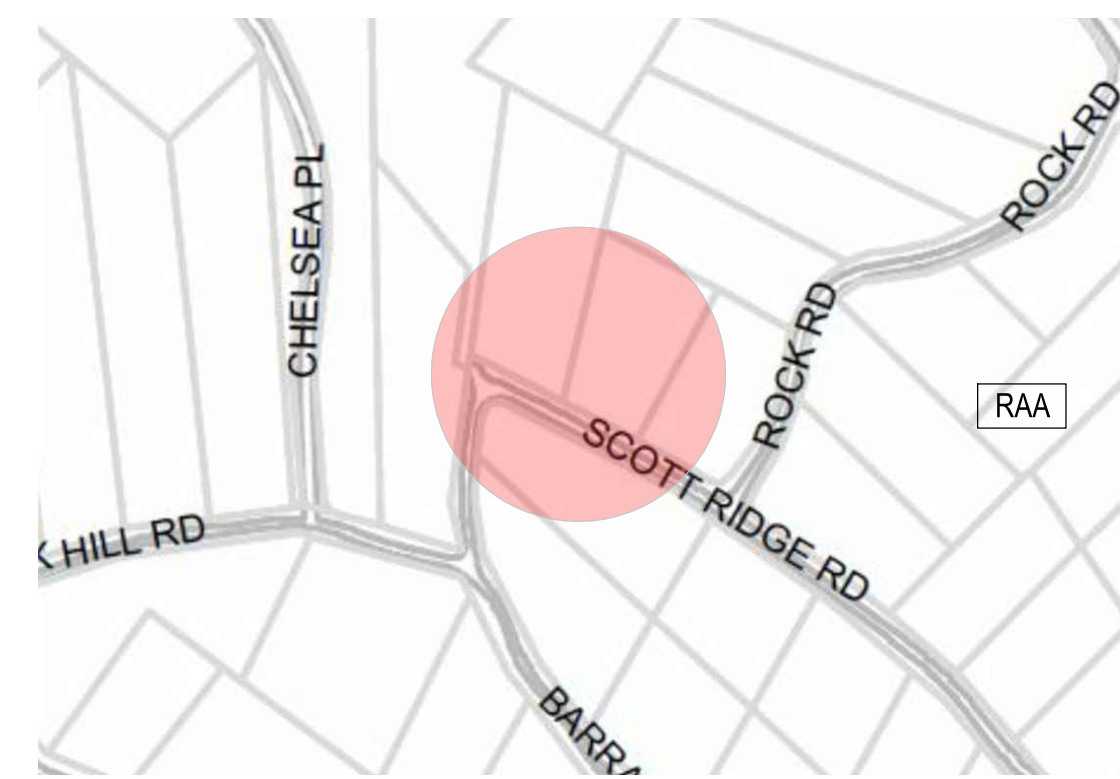


Addition & Alterations to Existing Residence: **ZULKESKI RESIDENCE**

96 Scott Ridge Road - Ridgefield, CT 06877



ZONING LOCATION MAP
RAA ZONING DISTRICT: 2-ACRE RESIDENTIAL

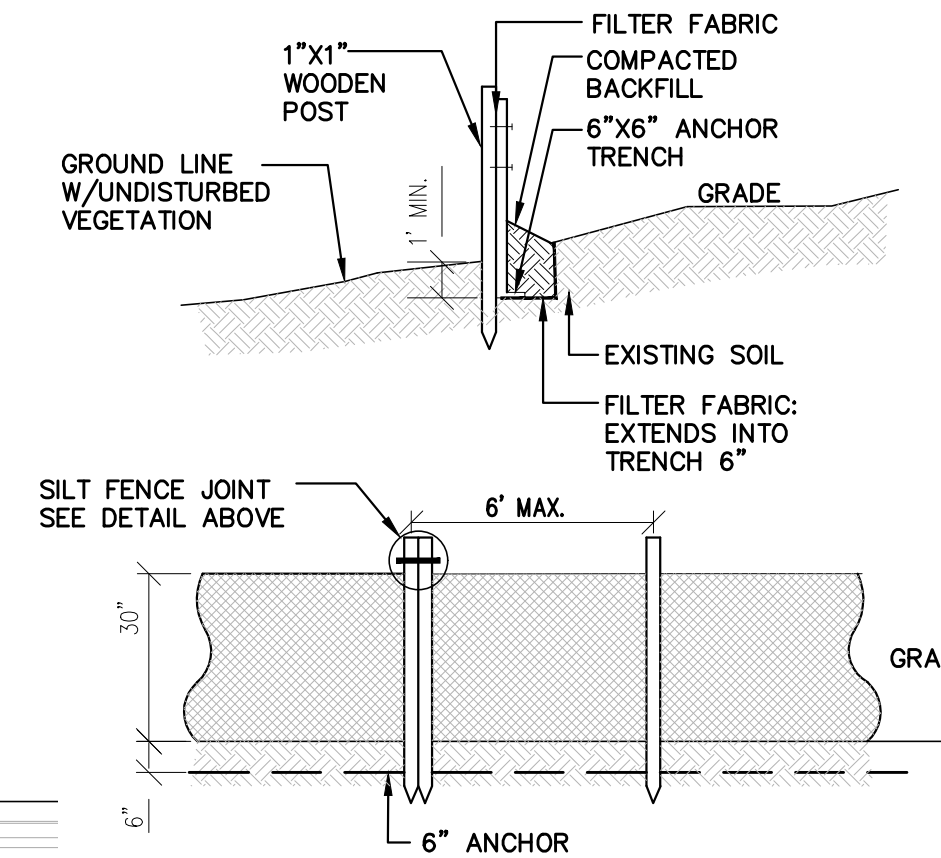


SATELLITE PHOTOGRAPH
N.T.S.

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED ^c (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING			TERMITES ^c	DECAY ^d	WINTER DESIGN TEMP ^f (° F)	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS ^h	AIR FREEZING INDEX
			RAA ZONING DISTRICT	WEATHERING	FROST LINE DEPTH ^b						
30	115	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	-7° F	5750	YES	361227 9/07	618

ENERGY CODE COMPLIANCE STATEMENT
In accordance with the International Energy Conservation Construction Code
Published 2015
This subject property has been designed to conform to Building Envelope Requirements
for Residential Applications



SILT FENCE DETAIL
N.T.S.

SEQUENCE OF CONSTRUCTION & EROSION CONTROL NOTES

1. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND OVERHEAD ELECTRIC WIRES PRIOR TO STARTING CONSTRUCTION. THIS INCLUDES, BUT IS NOT NECESSARILY LIMITED TO SEPTIC SYSTEM, UNDERGROUND FUEL TANKS, UNDERGROUND WATER LINES, UNDERGROUND ELECTRICAL, ETC. EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE OR DISTURBANCE OF THESE ITEMS.
2. PROVIDE PORT-A-JON TOILET.
3. SILT FENCE SHALL BE IN PLACE PRIOR TO THE START OF ANY EARTHWORK AND SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
4. SILT FENCES OTHER THAN THOSE SHOWN HEREON SHALL BE PROVIDED AS REQUIRED BY FIELD CONDITIONS OR AS DIRECTED BY TOWN OFFICIALS.
5. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH MAJOR STORM AND AT LEAST ONCE WEEKLY DURING THE CONSTRUCTION PERIOD TO INSURE THEIR PROPER OPERATION. ALL EROSION CONTROL DEVICES SHALL BE CLEANED AND REPAIRED AS NECESSARY.
6. AFTER CONSTRUCTION IS COMPLETED RESTORE AND REPLANT ALL DISTURBED AREAS WITH GRASS SEED AND MULCH TO STABILIZE.

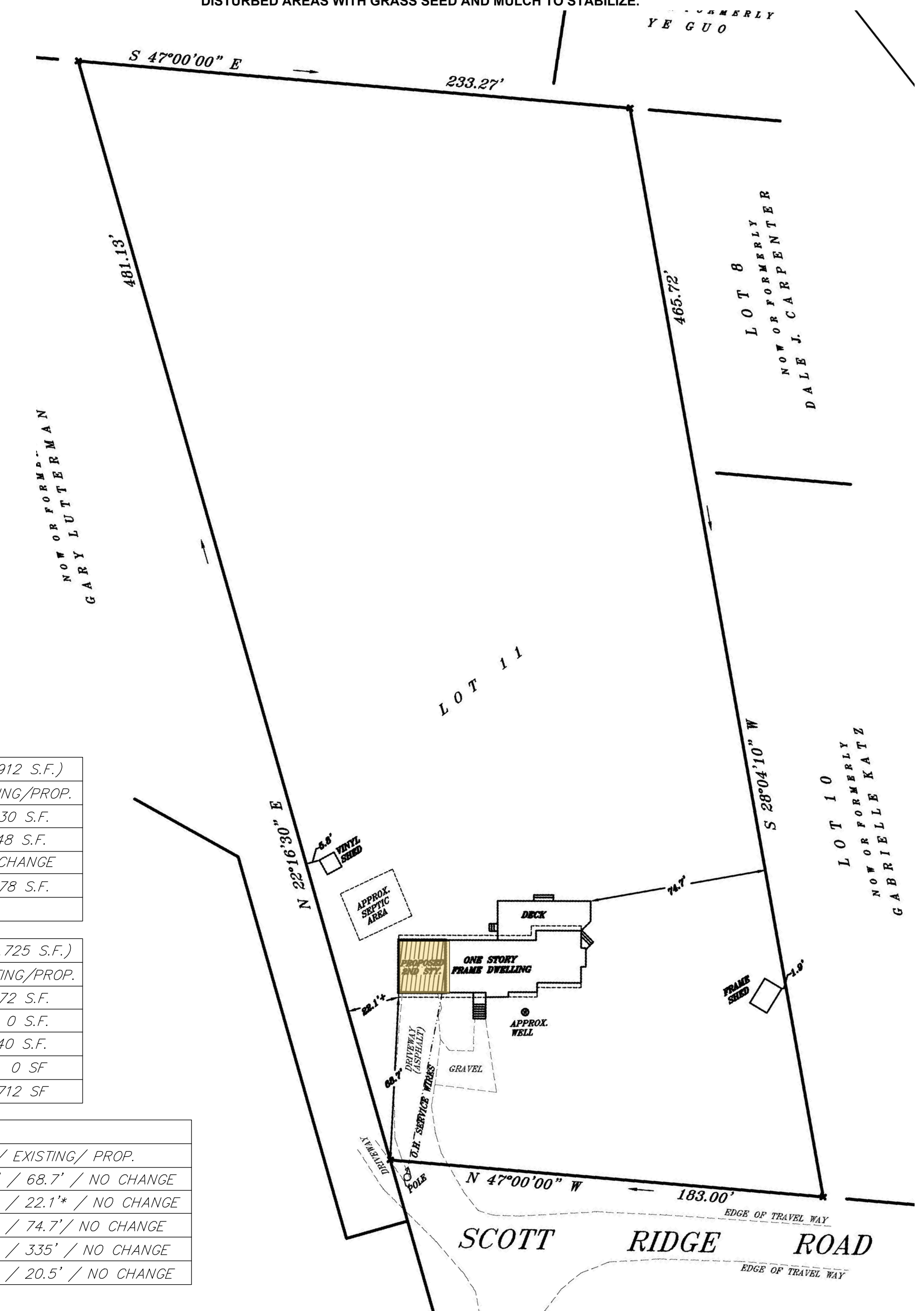
ZONE = RAA
PROPERTY AREA = 93,654 S.F.

BUILDING COVERAGE: (5,618+294.03 = 5,912 S.F.)	
	EXISTING/PROP.
EXISTING RESIDENCE:	1,730 S.F.
EXISTING DECK:	448 S.F.
EXISTING DECK:	NO CHANGE
TOTAL BUILDING COVERAGE	2,178 S.F.

FLOOR AREA RATIO: (8,464+3,92.04 = 8,725 S.F.)	
	EXISTING/PROP.
EXISTING FIRST FLOOR:	1,272 S.F.
EXISTING SECOND FLOOR:	0 S.F.
PROPOSED FIRST FLOOR:	440 S.F.
PROPOSED SECOND FLOOR:	0 SF
TOTAL FAR	1,712 SF

YARD SETBACKS / HEIGHT (NO CHANGE)	
	REQ. / EXISTING / PROP.
EXISTING FRONT YARD	35' / 68.7' / NO CHANGE
SIDE YARD	35' / 22.1' / NO CHANGE
SIDE YARD	35' / 74.7' / NO CHANGE
REAR YARD	35' / 335' / NO CHANGE
AVERAGE BUILDING HEIGHT	35' / 20.5' / NO CHANGE

* EXISTING NON-COMFORMING



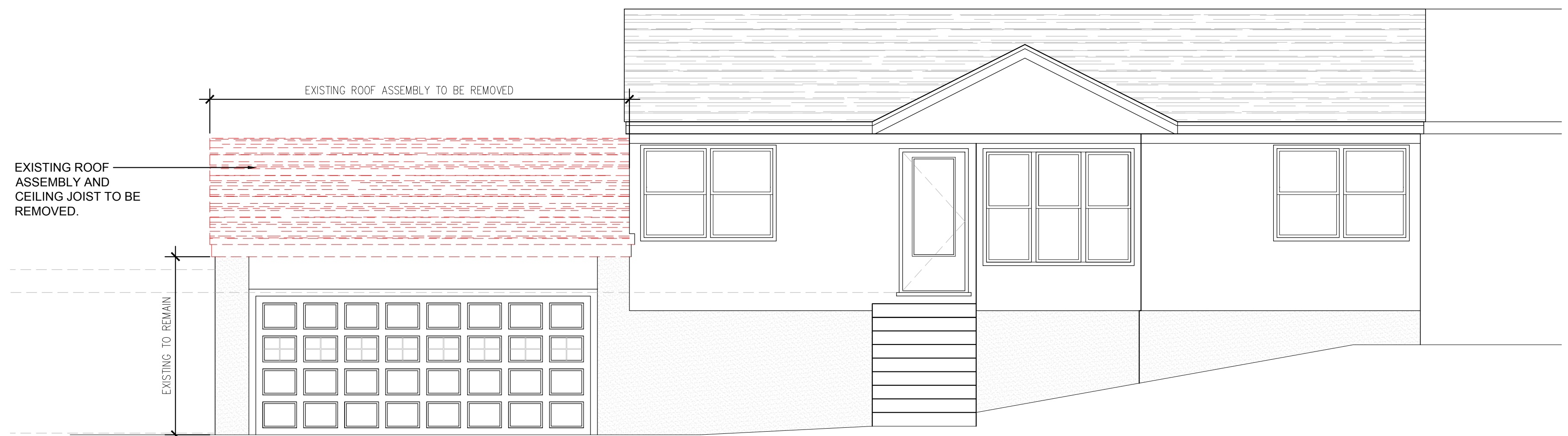
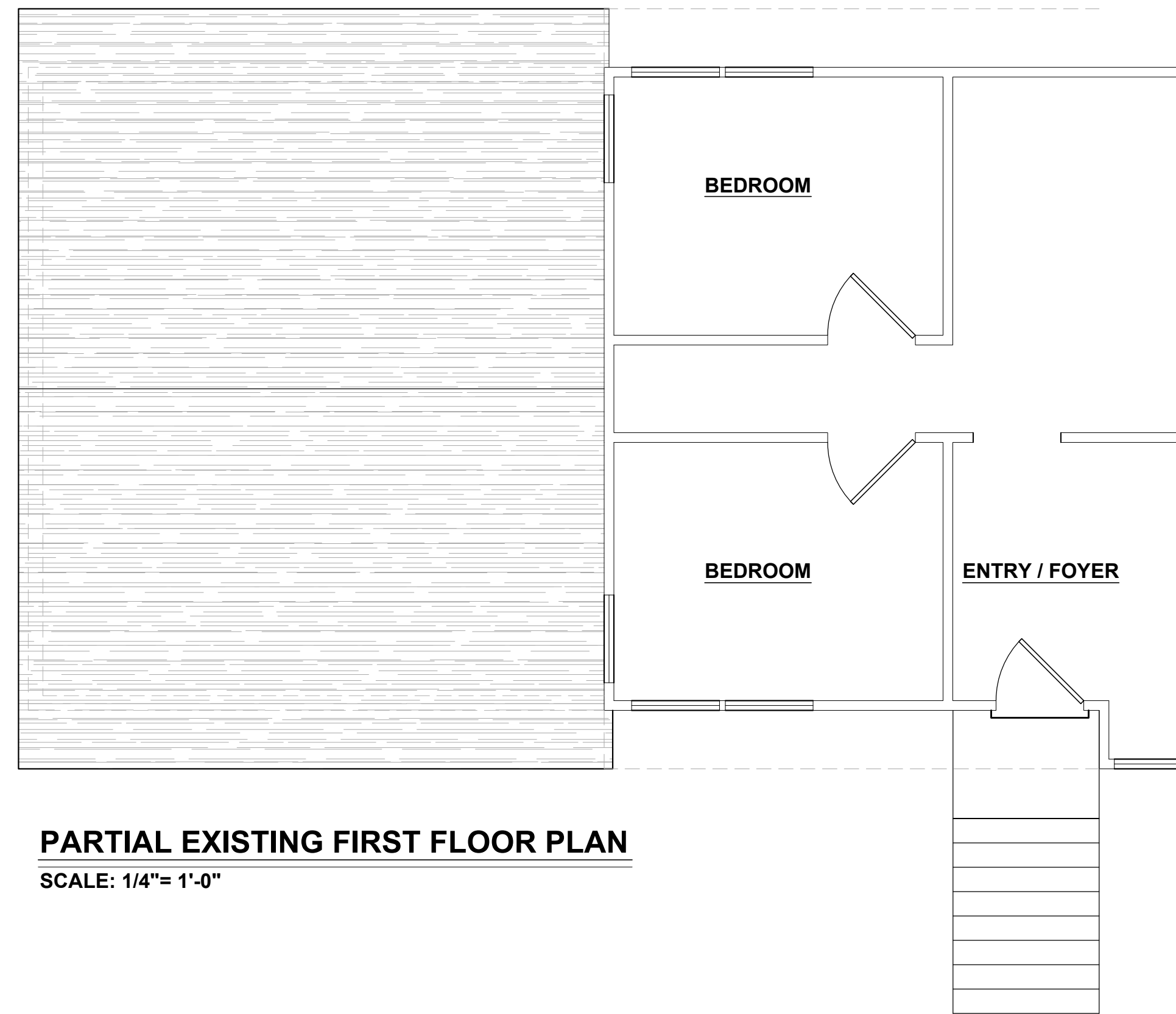
SITE PLAN

SCALE: 1"= 40'
NO INCREASE IN BUILDING FOOTPRINT AND/OR COVERAGE
ADDITION OVER EXISTING GARAGE - G.C. TO VERIFY FOOTING DEPTH (440 SF) - NO INCREASE IN BUILDING COVERAGE OR FOOTPRINT

**ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE FOR:
ZULKESKI RESIDENCE
96 SCOTT RIDGE ROAD - RIDGEFIELD, CT 06877**

SCALE:	NOTED	COVER & ZONING	SHT NO.	DWG NO:
DRN BY:	MSG	DATE:	9-14-20 REVISIONS	T1
			1 OF 4	

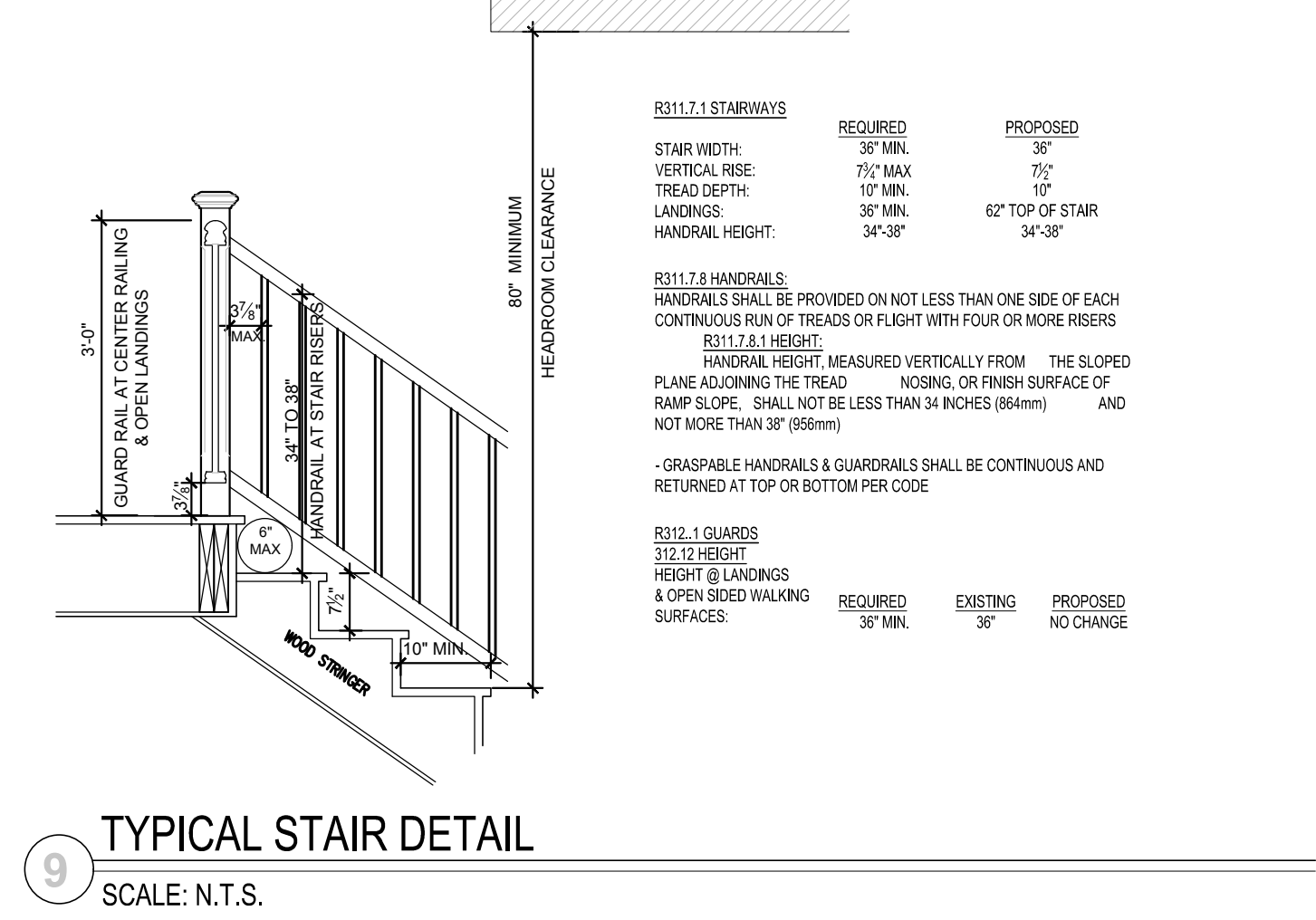
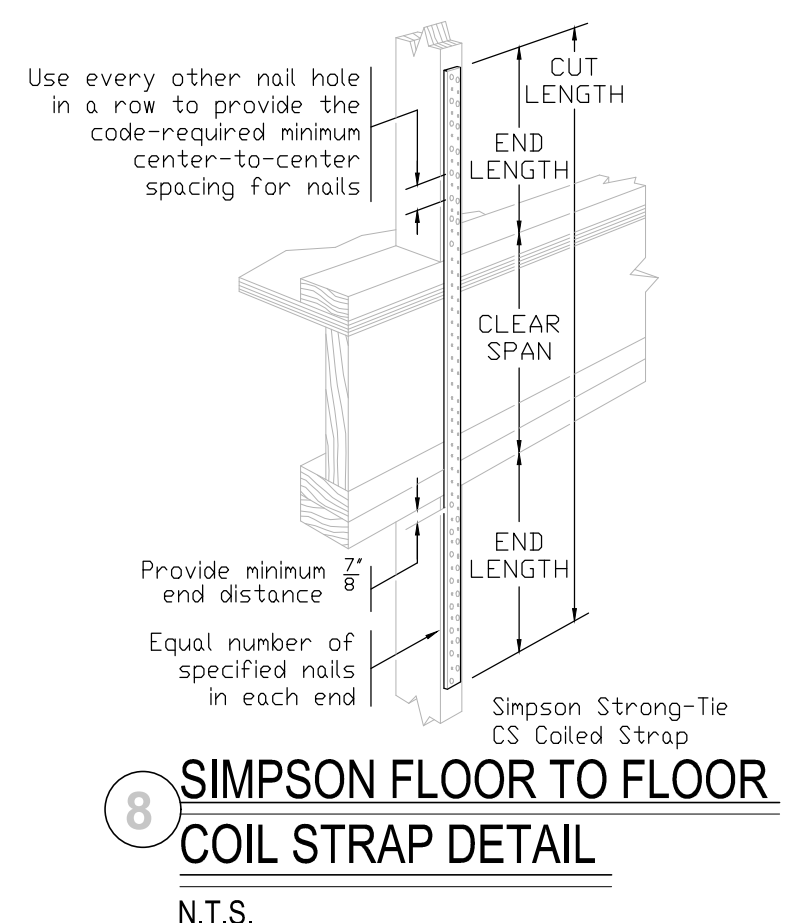
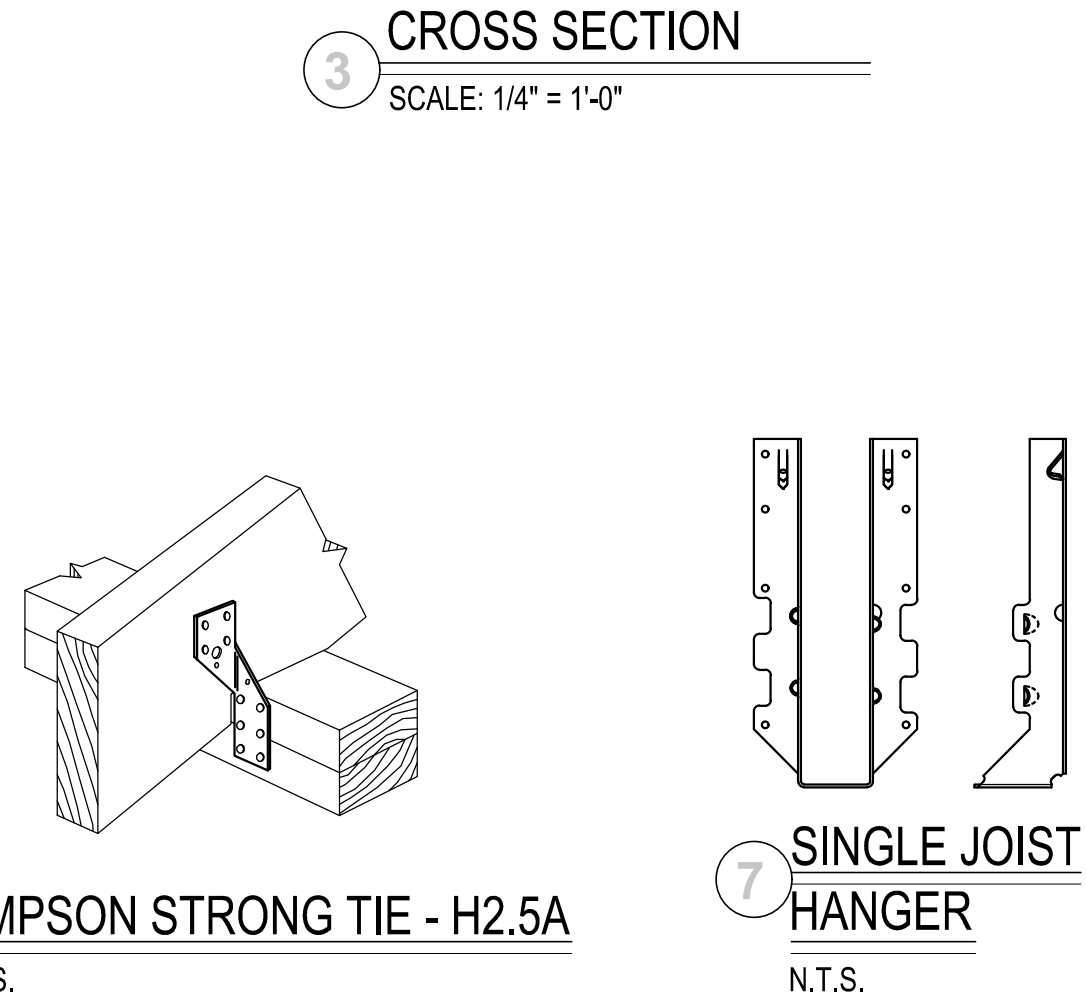
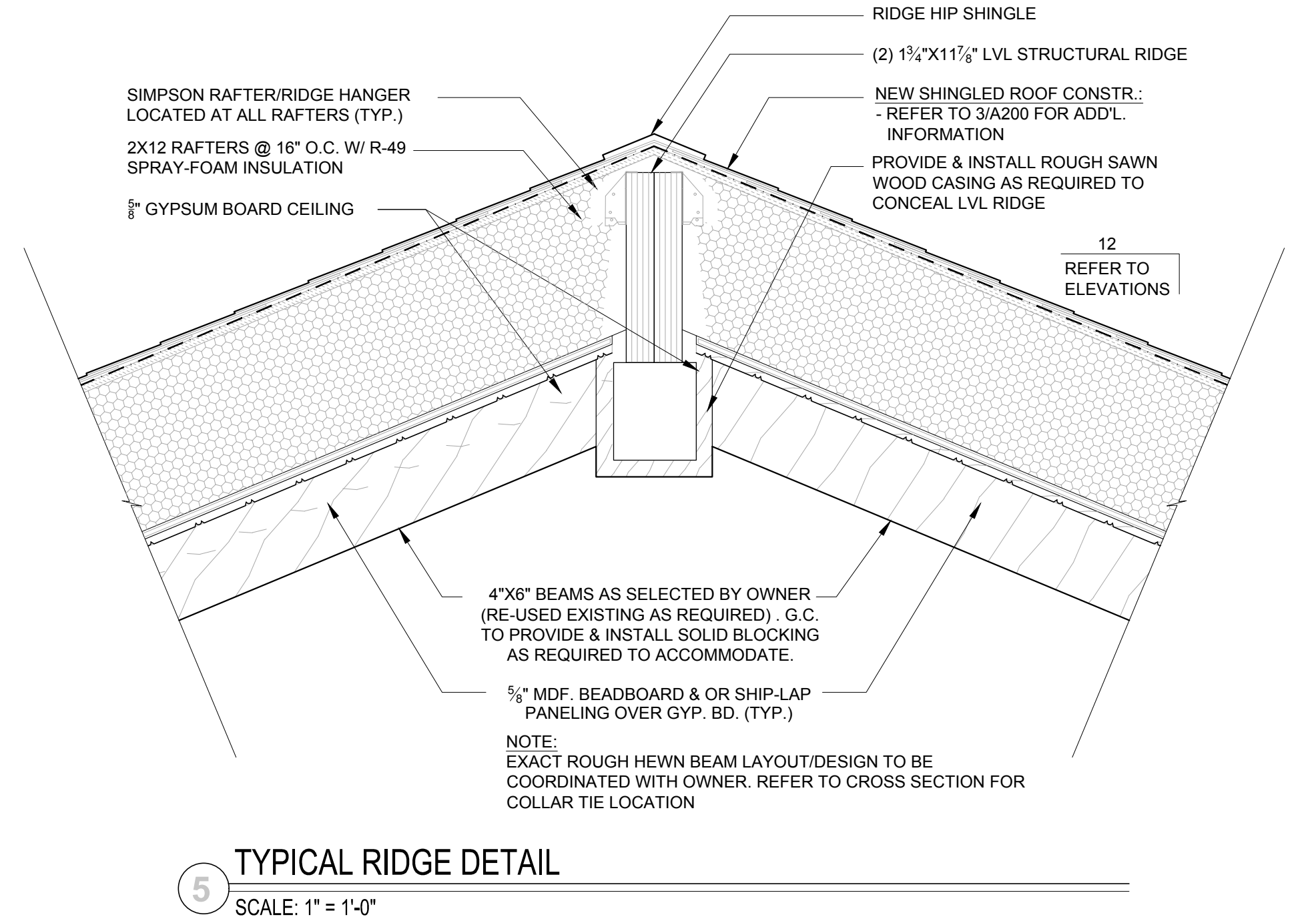
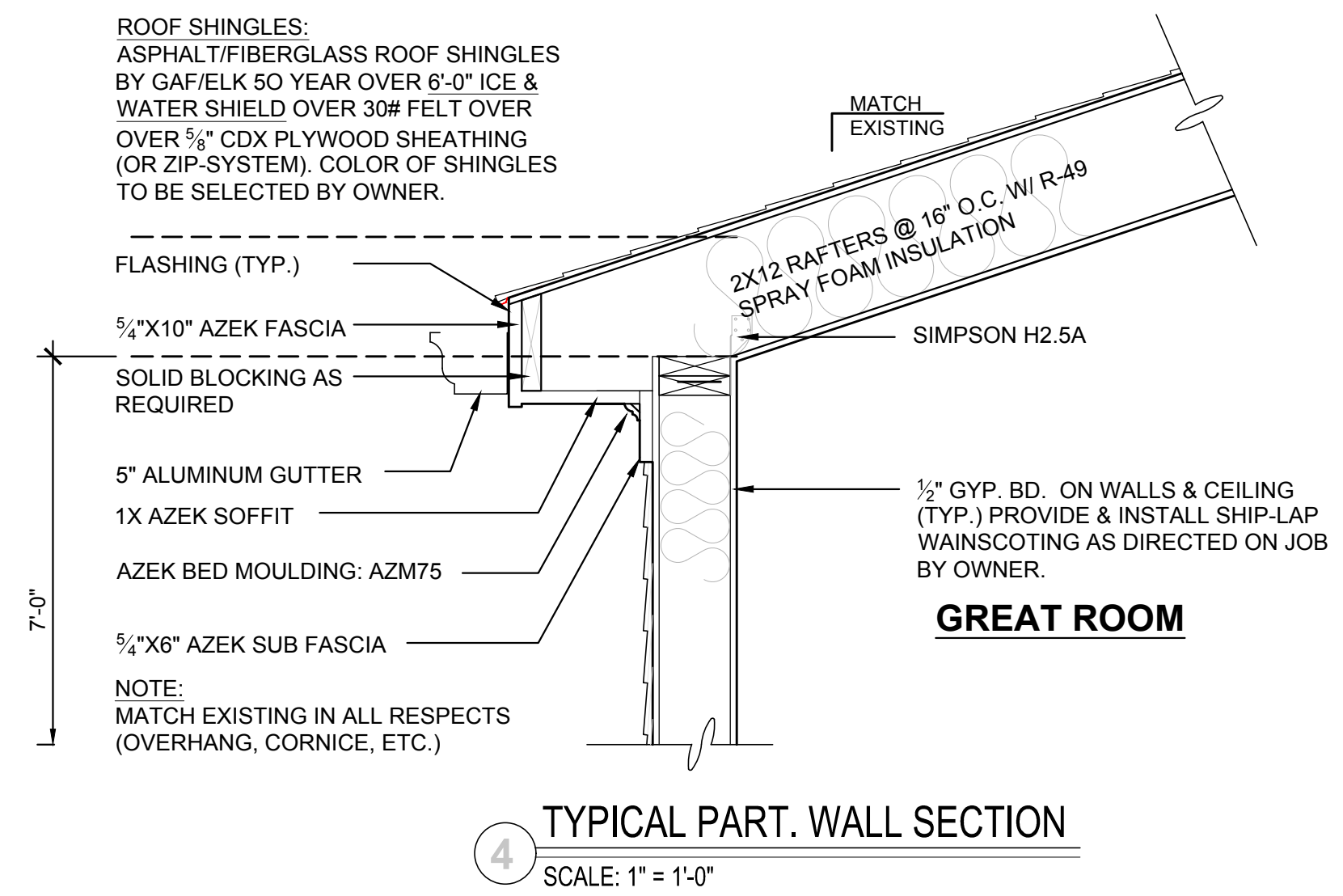
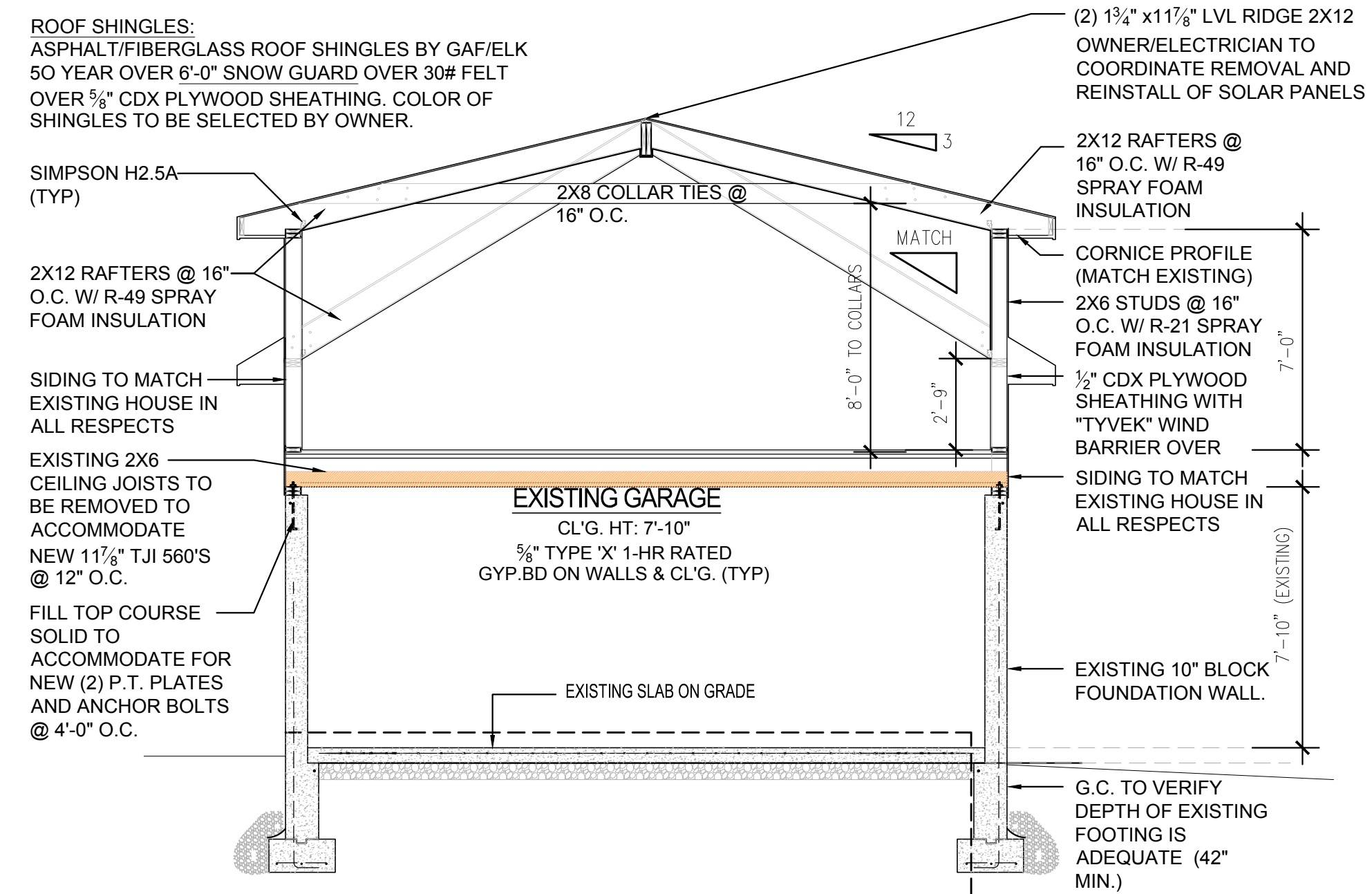
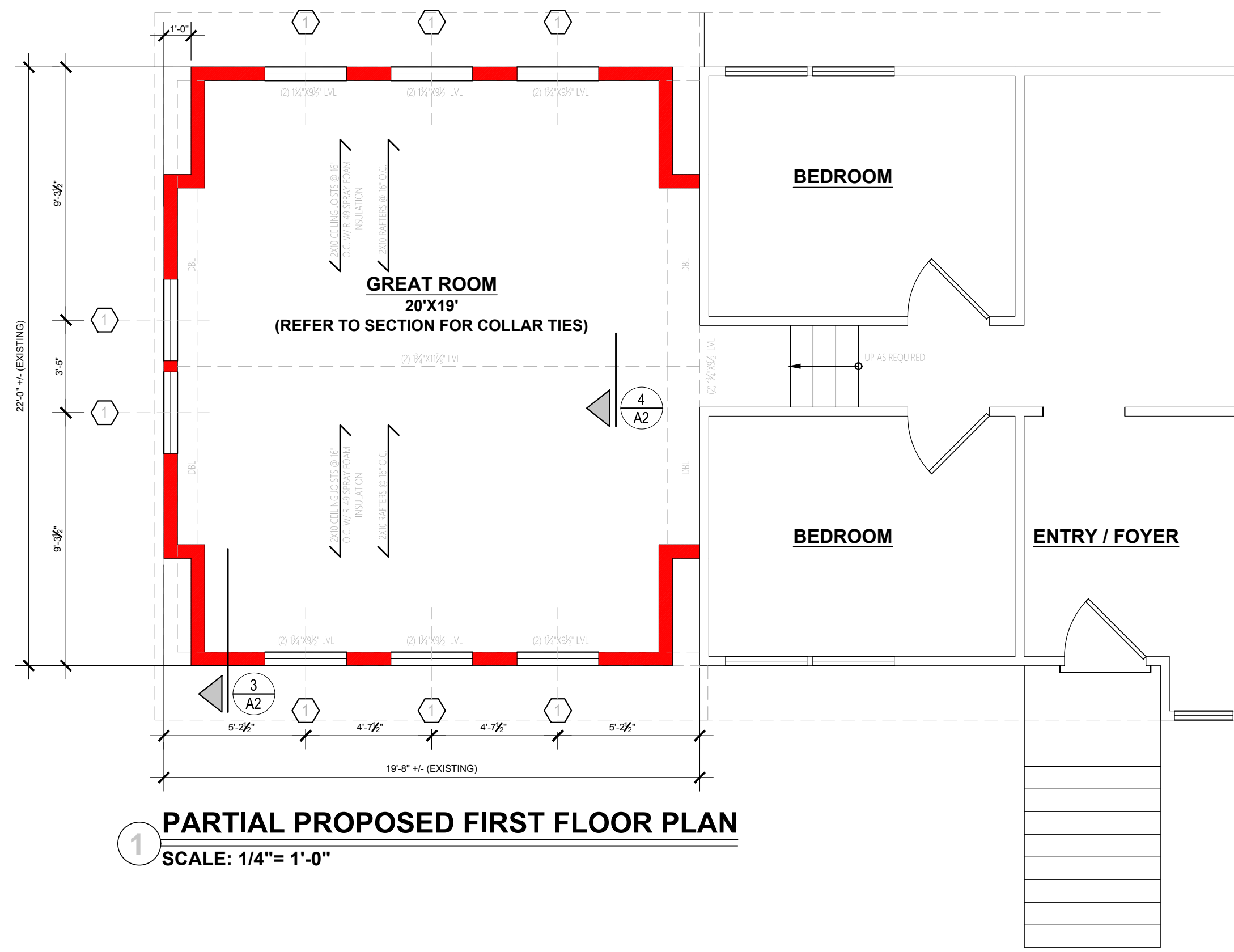
- 2015 IRC AND UNIFORM 2017 CODE SUPPLEMENT WAS USED TO DESIGN THIS PROJECT.
- 2015 INTERNATIONAL ENERGY CODE WAS USED TO DESIGN THIS PROJECT
- PLACARD IS TO BE INSTALLED ON EXTERIOR WALL PER LOCATION APPROVED BY INSPECTOR.
- ALL CONDITIONS SET FORTH BY BOTH THE PLANNING AND ZONING BOARDS WILL BE COMPLIED WITH
- SITE PLAN, ZONING, AND COVERAGE INFORMATION TAKEN FROM SURVEY DATED AUGUST 28, 2020, PREPARED BY RKW LAND SURVEYING (ORIGINAL ATTACHED)



REFERENCE PHOTOGRAPHS

N.T.S.

ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE FOR: ZULKESKI RESIDENCE 96 SCOTT RIDGE ROAD - RIDGEFIELD, CT 06877			
SCALE:	NOTED	EXISTING CONDITIONS	SHT NO.
DRN BY:	MSG	DATE: 9-14-20 REVISIONS	2 OF 4
			DWG NO: A1



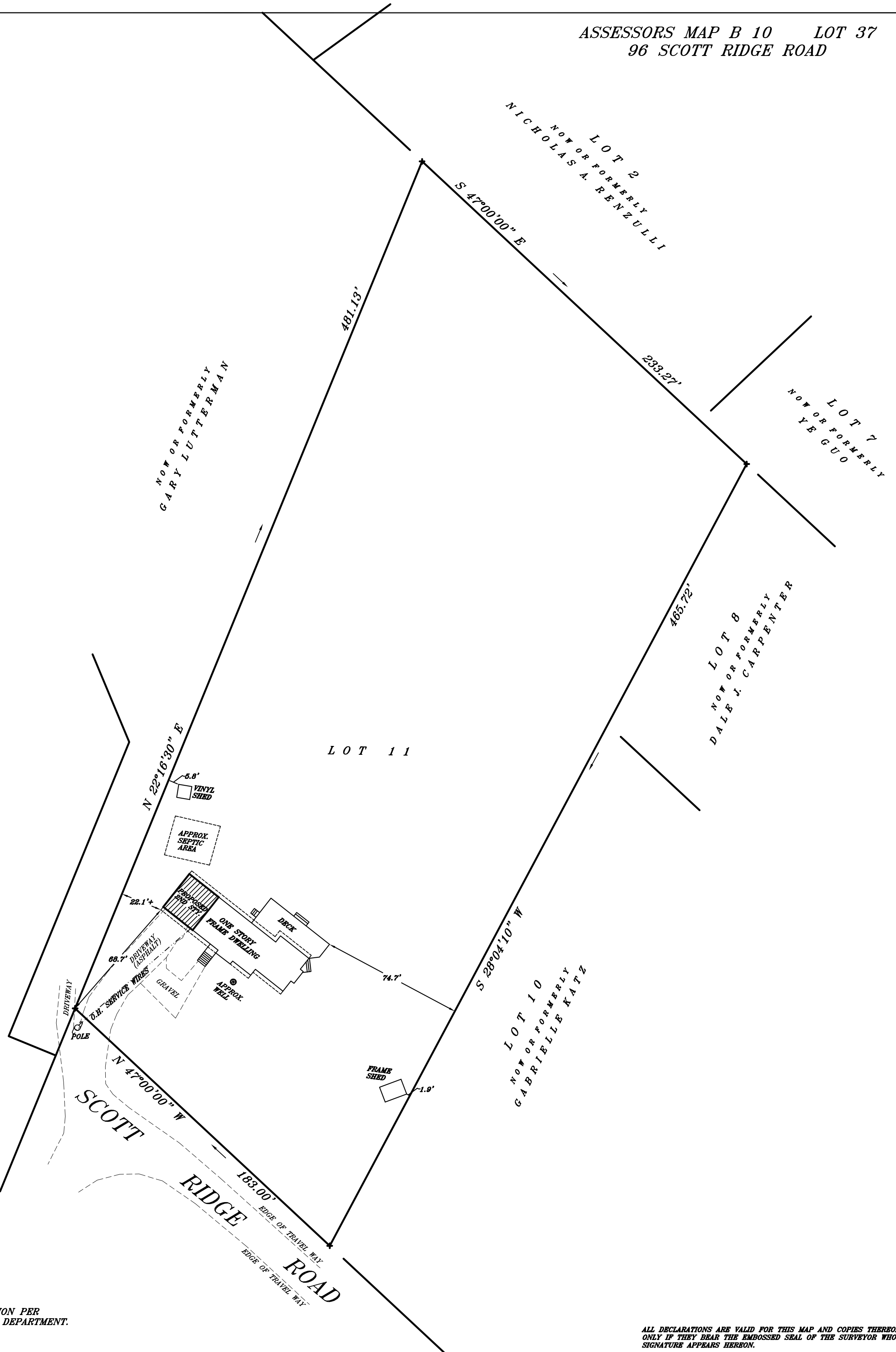
R0117.1 STAIRWAYS		REQUIRED	PROPOSED
STAR WIDTH:	38" MIN.	38"	
VERTICAL RISE:	17 1/2" MAX.	17 1/2"	
TREAD DEPTH:	10" MIN.	10"	
LANDINGS:	38" MIN.	62" TOP OF STAIR	
HANDRAIL HEIGHT:	34" - 38"	34" - 38"	

R0117.1 HANDRAILS		REQUIRED	EXISTING	PROPOSED
HEIGHT:	34" - 38"	34" - 38"	34"	NO CHANGE

**ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE FOR:
ZULKESKI RESIDENCE
96 SCOTT RIDGE ROAD - RIDGEBFIELD, CT 06877**

SCALE:	NOTED	PLANS, ELEVATIONS, AND DETAILS	SHT NO.	DWG NO.
DRN BY:	MSG	DATE: 9-14-20 REVISIONS	3 OF 4	A2

PER FILED MAP 2069



R - AA ZONING REQUIREMENTS

FRONT/SIDE AND REAR YARD SETBACK - 35'

ALLOWABLE BUILDING COVERAGE - 5,912 SQ. FT.
EXISTING BUILDING COVERAGE - 1,730 SQ. FT.
PROPOSED BUILDING COVERAGE - 0 SQ. FT.

ALLOWABLE F.A.R. - 8,856 SQ. FT.
EXISTING F.A.R. - 1,730 SQ. FT.
PROPOSED F.A.R. - 450 +/-
TOTAL F.A.R. - 2,180 +/-

NOTE: APPROXIMATE WELL AND SEPTIC SYSTEM LOCATION PER RECORDS ON FILE AT THE RIDGEFIELD HEALTH DEPARTMENT.

USE OF THIS SURVEY BY SUBSEQUENT OWNERS VOIDS SEAL AND CERTIFICATION HEREON.

SUBJECT TO ELECTRIC AND/OR TELEPHONE COMPANY EASEMENTS, IF ANY, FOR OVERHEAD AND/OR UNDERGROUND SERVICE.

SUBSTRUCTURES AND/OR THEIR ENCROACHMENTS BELOW GRADE, IF ANY, NOT SHOWN.

THE PURPOSE OF THIS MAP IS TO SHOW THE BUILDINGS AND BUILDING COVERAGE ONLY.

NO OTHER INTERIOR LOCATION DONE AT THIS TIME.

THIS MAP IS NOT TO BE USED FOR CONVEYANCE PURPOSES.

ALTERATIONS OF THIS MAP OTHER THAN BY A LICENSED LAND SURVEYOR IS ILLEGAL.

REFERENCE HEREBY MADE TO MAP #2069 AND #2106 ON FILE IN THE RIDGEFIELD TOWN CLERKS OFFICE.

LOT 11
MAP
Prepared for
KRISTOPHER ZULKESKI
Ridgefield, Connecticut
R - AA Residence Zone
Area = 2.150 Acres

ALL DECLARATIONS ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF THEY BEAR THE EMBOSSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

THE TYPE OF SURVEY PERFORMED IS A BUILDING LOCATION SURVEY AND IS INTENDED TO DEFECT COMPLIANCE OR NONCOMPLIANCE WITH ZONING REGULATIONS WITH RESPECT TO BUILDING LOCATION.

BOUNDARY DETERMINATION IS BASED ON A DEPENDENT RESURVEY.

THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-39 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON, AND CONFORMS TO THE HORIZONTAL ACCURACY OF A CLASS "A-2" SURVEY.

R K W
LAND SURVEYING

Survey date AUGUST 28, 2020

New Canaan, Connecticut
Tel. 203 - 986 - 3501
Fax 203 - 986 - 3503



CT. L.S. # 70034

FRANCIS J. WALSH JR.

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.